



**REGULAR MEETING  
OF THE  
LEE COUNTY BOARD OF COMMISSIONERS**  
106 HILLCREST DRIVE  
SANFORD, NORTH CAROLINA 27330

May 20, 2019  
6:00 P.M.

**A G E N D A**

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**CALL TO ORDER** – Amy Dalrymple, Chair

**INVOCATION** – Commissioner Dodson

**PLEDGE OF ALLEGIANCE**

**I. ADDITIONAL AGENDA**

**II. APPROVAL OF CONSENT AGENDA** (All items listed below are routine and will be approved by one motion. No separate discussion will be held except by a request of a member of the Board. Any item removed from the Consent Agenda will be considered individually as a part of the regular agenda).

- A. Minutes from the May 6, 2019 Regular Meeting. (Pages 1-11)
- B. Minutes from the May 6, 2019 Closed Session Meeting. (Page 12)
- C. Tax Release and Refund Report for April 2019. (Pages 13-17)
- D. Energy Provider Agreements for Energy Assistance Programs with Dominion Energy, Central Electric Membership Corporation and Duke Energy Progress. (Pages 18-42)
- E. Adult Daycare Contract with DSS. (Pages 43-63)
- F. Additional State Revenue for Family Planning. (Pages 64-70)
- G. Budget Amendment #05/20/19/16. (Pages 71-72)
- H. Contract Renewal with Logan Systems, Inc. for the Register of Deeds. (Pages 73-82)
- I. Award of Banking Services. (Pages 83-85)

**III. PUBLIC HEARINGS**

- A. Joint Public Hearing Regarding Seven Proposed Amendments to the UDO.– Marshall Downey (Pages 86-114)

**IV. PUBLIC COMMENTS**

**V. OLD BUSINESS**

**VI. NEW BUSINESS**

- A. Presentation of Juvenile Crime Prevention Council FY 2019-2020 Funding Plan. – Pamela Glover (Pages 115-125)
- B. Triangle J COG Housing Study Presentation. – Marshall Downey (Pages 126-146)
- C. Recommendation by LCTC on Ranking of Transportation Projects to Submit to TARPO.-David Montgomery (Pages 147-150)
- D. Update from SAGA.- Michael Smith (Page 151)
- E. Consideration of Adoption of Resolution Supporting NC Carolina CORE.- Dr. Crumpton (Pages 152-157)
- F. Annual consideration of the contract with SAGA for economic development services for FY 2019-2020. – Whitney Parrish (Pages 158-163)
- G. FY2019-2020 Recommended Budget Presentation.- Dr. Crumpton (Page 164)
- H. Approval of engagement letter from Thompson, Price, Scott, Adams & Co, P.A. for an attest engagement based on the County’s participation in LGERS retirement system.- Dr. Crumpton (Pages 165-170)

**VII. MANAGERS’ REPORTS**

- A. County Manager’s monthly report for May 2019. – Dr. Crumpton (Pages 171-260)

**VIII. COMMISSIONERS’ COMMENTS**

**IX. CLOSED SESSION**

- A. Closed Session to discuss matters relating to the location or expansion of business per North Carolina General Statute § 143-318.11(a)(4).

**ADJOURN**



ITEM #:  
**II. A.**

## LEE COUNTY AGENDA ABSTRACT BOARD OF COMMISSIONERS MEETING

(Use the Down or Up Arrows to move between fields of the Form)

**MEETING DATE:** May 20, 2019

**SUBJECT:** Minutes from the May 6, 2019 Regular Meeting

**DEPARTMENT:** Governing Body

**CONTACT PERSON:** Whitney Parrish, Deputy Clerk to the Board

**TYPE:**  Consent Agenda  Action Item  Public Hearing  Information

<b>REQUEST</b>	Approve minutes from the May 6, 2019 regular meeting
<b>BUDGET IMPACT</b>	N/A
<b>ATTACHMENTS</b>	"Draft" copy of the May 6, 2019 minutes
<b>PRIOR BOARD ACTION</b>	Approve minutes from the May 6, 2019 regular meeting
<b>RECOMMENDATION</b>	Pleasure of the Board.
<b>SUMMARY</b>	

A "draft" copy of the minutes from the May 6, 2019 regular meeting have been prepared for approval. Attachments referenced in the minutes are available for review in the Clerk's Office located at 408 Summit Drive, Sanford NC. Once approved, minutes will be recorded at the Lee County Register of Deeds Office.



REGULAR MEETING  
OF THE  
LEE COUNTY BOARD OF COMMISSIONERS  
106 HILLCREST DRIVE  
SANFORD, NORTH CAROLINA 27330

**May 6, 2019**

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The regular meeting of the Board of Commissioners for the County of Lee, State of North Carolina, convened at 6:00 P.M. in the Commissioners Room, First Floor, Lee County Government Center, 106 Hillcrest Drive, Sanford, North Carolina, on said date. Commissioners present when the meeting was called to order were Amy M. Dalrymple, Arianna M. Del Palazzo, Kevin C. Dodson, Dr. Andre Knecht, Robert T. Reives, Cameron W. Sharpe, and Kirk D. Smith. Staff in attendance included County Manager John Crumpton, County Attorney Whitney Parrish, and Assistant County Manager/Finance Director Lisa Minter.

Commissioner Dalrymple called the meeting to order at 6:00 p.m. and the following business was transacted:

Commissioner Dodson requested a moment of silence and the Pledge of Allegiance was recited.

**I. APPROVAL OF CONSENT AGENDA**

The Board considered changes to the *Consent Agenda*. Commissioner Reives requested to move Items F and G under New Business to the consent agenda. With no changes requested, Commissioner Sharpe moved to approve the *Consent Agenda* as amended, which consisted of the following items.

- A. Minutes from the April 15, 2019 Regular Meeting.
- B. Minutes from the April 15, 2019 Closed Session Meeting.
- C. Non-Emergency Medicaid Transportation Contract Renewal with D&D General Store.
- D. Non-Emergency Medicaid Transportation Contract Renewal with COLTS.
- E. Non-Emergency Medicaid Transportation Contract Renewal with Rights Transportation.
- F. Increased costs for the fourth floor carpet replacement at the Lee County Government Center.
- G. Renewal contract for inmate labor with the Department of Public Safety.
- H. Budget Amendment #05/06/19/15.
- I. Board of Elections Laptop Purchases.
- J. 2008 Tax Bill Write-Off.
- K. 2009-2014 Tax Bill Write-Off for Registered Motor Vehicles.

Upon a vote, the results were as follows:

Aye: Dalrymple, Del Palazzo, Dodson, Knecht, Reives, Sharpe, Smith  
Nay: None

The Chair ruled the motion had carried unanimously.

## II. PUBLIC HEARING

County Manager John Crumpton provided a summary for the proposed Capital Improvements Plan for FY2020-2024, which was presented to the Board at its Regular Meeting on April 15, 2019. The hearing was advertised in *The Sanford Herald* on April 25, 2019. Dr. Crumpton stated the CIP has been on display for three weeks for anyone to review. Chair Dalrymple opened the public hearing for comments.

No one spoke in favor of the CIP as presented.  
No one spoke against the CIP as presented.

Chair Dalrymple closed the public hearing.

## III. PUBLIC COMMENTS

Pursuant to General Statute § 152A-52.1, Chair Dalrymple opened the floor for *Public Comments*. No one wished to speak during public comments, those who signed up wanted to be heard under the Request to Appear Before the Board.

## IV. REQUEST TO APPEAR BEFORE THE BOARD

Mr. Vernon K. Stewart, the elected District Attorney requested to appear before the Board in reference to the renovations to the Lee County Courthouse and District Attorney's Office. Draft plans of the new courthouse campus have been submitted to all staff affected by the plan. The proposed plans have Mr. Stewart's office moving to the historic courthouse. Mr. Stewart had many supporters in the audience. He stated his many concerns with moving from the current courthouse to the historic courthouse. One of the concerns Mr. Stewart has is that his office will be divided in the current plans. The legal assistants will have to be one side of the building and the lawyers on the other side. He expressed concerns that the victims and witnesses and the prosecutors will be near those they are prosecuting and that people who have been victimized do not want to go back before those who are charged with the crime. He indicated that the plan separates the prosecutors from the courtrooms, now they will have to go back and forth between courthouses to get driving records, etc., and they will be entering the same way the general public enters. Mr. Stewart then expressed safety concerns. Prosecutors have been shot and killed. There has already been one shooting at the courthouse already. His Legal Assistants are in the office eight hours a day and there is no way to tell what is around the Horner Blvd. section of the courthouse. Mr. Stewart addressed and stated that the historic courthouse already has insufficient space that would cause their office to fail to comply with Federal Law that requires children to have a separate room and victims to have a separate room in their offices. Mr. Stewart provided the Board with changes that would automatically need to be made. He stated that there is no room for growth within five years, there is no conference room, no breakroom and no secured entrances/exits. He then presented the Board with a letter from the Sheriff stating his safety concerns of moving the DA's Office to the historic courthouse.

Emily Everest, an Assistant District Attorney in Lee County then addressed the Board. She has been a licensed ADA for four years, and is assigned to special victims cases and addressed the Board from prospective. She stated there is a Victim Rights Act statute and part of the statute states that the District Attorney shall provide a secured waiting area, and currently the plan does not allow for that. She also stated that Marsy's Law was passed showing constituent's concerns for victim's rights. Ms. Everest felt the modifications would cause harm. She noted that offenders and victims have a personal relationship and the victims will now have to meet with the DA in the historic courthouse then walk through an open/exposed area to the courtroom. She provided a real world example where she was in district court with a domestic violence victim and they were working on a safety plan. When the victim walked outside the offender was waiting in the parking lot. The offender was upset the charges had not been dismissed and she came back inside and he was circling the building. She feels these changes will make the victims physically vulnerable.

Chris Autry, an Assistant District Attorney in Lee County also addressed the Board. He discussed his concerns of making our courts more efficient by getting things done, getting access to what you need, such as records, law enforcement officers, witnesses, etc. He stated when he started in the DA's Office he started in people's court, which was one of the least efficient courts, which was held in the historic courthouse. He said he did not have access to witnesses or records when he needed them. He indicated that when took this job he was aware of the potential safety issues, but his staff did not sign up for the same safety issues. The staff are here with their families and there is concern about moving them to a first floor location with windows and only one way to enter and exit. He also notated the shooting that occurred in June 2016 and worries about the safety of the victim.

Karen Brown then addressed the Board. She had a nephew who was murdered in 2013 and spent a lot of time in the courthouse during the trial. It was a death penalty case. The defendant charged, Mr. Sanders was thought to have been in a gang and the victim's family was approached by the family of the defendant. She has concerns that those types of interactions will be increased in the areas are opened. Her opinion is that the most important people in the courthouse are the victims.

Mike Beam, an Assistant District Attorney in Lee County addressed the Board. He stated that their office uses the courtrooms every day and at least fifty percent of their working days the office is holding two separate courts. He stated the DA's office needed to remain near the courthouse to do their jobs efficiently. The best use of the space would be to keep the DA's office where they are. Inevitably, in every session of court, there is a need to return to the office, to retrieve a record, summon a witness, defense attorney's also get records from our office, to lengthen the time so we have to go outside is a waste of everyone's time. The proposed location now has four judges and there is only one judge from Lee County and he already has his own office. Mr. Beam noted concerns about the hours they work extend pass 8am to 5pm and there will be no bailiff or security staff to see staff as they come and go. He stated that they have to take tough positions, they ask for people's bonds to be revoked and for people to be put to death. Security sweeps take place every day to make sure no weapons are found outside of the courthouse. He asked the Board to be kept updated as plans move forward.

Deirdre Stephenson addressed the Board in her capacity as President of Lee County Bar. She presented a map to discuss solutions to the spacing needs. She suggested having an enclosed breezeway or escorts for the District Attorney's staff or for the Sheriff to propose a

security plan. She noted the Lee County Bar wants space. She cited some statistics including information that family law lawyers have higher rates of threats of violence, assaults and criminal defense attorneys above average rates of threats of violence. She stated the Bar has no law library or a lawyers lounge. The law library must be available to the public. She stated that the Bar also wants the DA's office to have more space so they can meet with their clients. She stated the proposal of moving the DA to old courthouse, will give them that space. She also noted that the conversations attorneys have with their clients need to remain confidential and the giant foyer does not afford them such confidentiality. Ms. Stephenson then went through some proposed changes that the Bar suggests.

Susie Thomas, the elected Clerk of Court, then addressed the Board. She stated she was there to address the board on behalf of the public because that is who she serves. She indicated she needs a jury room for one hundred jurors. She noted that jurors are there not only for criminal court, but also for civil court. She had concerns with having jurors in the old courthouse, if they are there for a capital murder trial then concern for them going between courthouses. At the end of the day it is the comfort and security of the County.

After all those who wanted to speak addressed the Board, there was discussion amongst the Board members. Dr. Crumpton addressed the idea of connecting the two building with a breezeway and noted that it is not an option; the architect has already contacted the State Historic Commission. The original request for more space came about three years ago. Commissioner Dodson noted he understands that safety is important, but that this is a difficult problem. Commissioner Reives noted that there is not enough money to do all the things that need to be done, but also noted that the County has bond money and needs to move forward. Dr. Crumpton indicated to get things moving, we need construction drawings for the fireplace and then for architects to move forward with the new courthouse. The long-term plan is for the courthouse in the CIP.

After discussions, Commissioner Reives made a motion to accept the recommended plan as presented by the architect and with amendments to the plan as we move forward. After further discussion, the question was called, and upon a vote, the results were as follows:

Aye: Dalrymple, Del Palazzo, Knecht, Reives, Sharpe, Smith  
No: Dodson

The Chair ruled the Motion carried 6:1.

The Chair called for a ten-minute recess at approximately 7:20pm.  
The Chair called the meeting back to order at 7:28pm.

#### **V. ITEMS FROM NEW BUSINESS**

After returning from recess, the Chair asked that due to some confusion as to what items were moved to Consent at the beginning of the meeting, that the Board go ahead and take a separate vote on Items E, F, and G under New Business.

##### **A. E. Under New Business: Raise the Minimum Tax Bill to \$5.00**

Currently the minimum tax bill amount for Lee County is \$1.00. However, NCGS 105-321(f) allows for the Board to establish a minimum bill amount, not to exceed \$5.00. Given the collection department's budget and the number of annual tax bills billed, the cost to collect a tax bill exceeds \$5.00. The estimated cost to collect these bills, based on the department's budget, is estimated to be approximately \$11.00 per bill. A resolution was presented to the Board that

allows the Tax Collector not to send a bill that is less than \$5.00. Commissioner Reives made a motion to adopt the minimum tax bill of \$5.00 and approve the resolution, a copy of which is attached to these minutes and by this reference made a part hereof. Upon a vote, the results were as follows:

Aye: Dalrymple, Del Palazzo, Dodson, Knecht, Reives, Sharpe, Smith  
No: None

The Chair ruled the motion had carried unanimously

**B. F. Under New Business: Approval of the 2008 Tax Bill Write Off**

A request was made by the Tax Collector to write off the 2008 delinquent tax bills in the amount of \$87,890.30 per NCGS 105-373(g)(h) and NCGS 105-378. These taxes were due on September 1, 2008 and became delinquent on September 1, 2018. A detailed list of delinquent accounts was on file at the clerk's office. Commissioner Reives made a motion to approve the 2008 write off. Upon a vote, the results were as follows:

Aye: Dalrymple, Del Palazzo, Dodson, Knecht, Reives, Sharpe, Smith  
No: None

The Chair ruled the motion had carried unanimously

**C. G. Under New Business: Approval of the 2009-2014 Tax Bill Write Off for Registered Motor Vehicles**

A request was made by the Tax Collector to write off the 2009-2014 delinquent registered motor vehicle tax bills in the amount of \$179,974.10 per NCGS 105-373(g)(h). These bills were accumulated under the prior billing system and have been uncollectable. NCGS 105-373(g) allows bills deemed insolvent to be written off after five years. Commissioner Reives made a motion to approve the 2009-2014 tax bill write offs for registered motor vehicles. Upon a vote, the results were as follows:

Aye: Dalrymple, Del Palazzo, Dodson, Knecht, Reives, Sharpe, Smith  
No: None

The Chair ruled the motion had carried unanimously.

**VI. PROCLAMATIONS**

**A. Proclamation Celebrating National Foster Care Month**

May is National Foster Care Month, a time to acknowledge foster parents, family members, volunteers, mentors, policymakers, child welfare professionals, and other members of the community who help children and youth in foster care find permanent homes and connections. Angelina Noel, Social Services Director asked for support of such proclamation by the Board, a copy of which is attached to these minutes and by this reference made a part hereof. DSS Chair Margaret Johnson and Maggie Johnson Supervisor for Foster Care and Adoption were both present to accept the Proclamation. Chair Dalrymple read the proclamation. Commissioner Smith moved to accept the proclamation. Upon a vote, the results were as follows:

Aye: Dalrymple, Del Palazzo, Dodson, Knecht, Reives, Sharpe, Smith  
No: None



The Chair ruled the motion had carried unanimously.

**B. Proclamation Celebrating Older Americans Month**

Every May the Administration for Community Living leads our nation's observance of Older Americans Month. This year, 2019, the theme is Connect, Create, Contribute. By engaging and supporting all community members, including the older adults, we recognize that older adults play a key role in the vitality of our neighborhoods, networks, and lives. Debbie Davidson, Director of Senior Services, requested support for such proclamation by the Board, a copy of which is attached to these minutes and by this reference made a part hereof. Chair Dalrymple read the proclamation. Commissioner Smith moved to accept the proclamation. Upon a vote, the results were as follows:

Aye: Dalrymple, Del Palazzo, Dodson, Knecht, Reives, Sharpe, Smith  
No: None

The Chair ruled the motion had carried unanimously.

**VII. OLD BUSINESS**

**A. Vote on the Disposition of 0 W Forrest Oaks Drive SR 1469, PIN 9667-87-8477-00**

The County of Lee foreclosed, by sheriff's deed, on the property located at PIN 9667-87-8477-00 in 1989. Currently, what is owed on the property is \$3,156.93, which includes the taxes and attorney fees owed. The Current tax value of the property \$15,400.00. Wayne Langston, on behalf of Coast2Coast Group submitted an offer of \$500.00 on July 31, 2018 and submitted his advertising costs on October 29, 2018. He has paid the requisite 5% deposit and advertising costs. Michael Jones submitted an offer of \$4,000.00 on February 28, 2019 and has paid the requisite 5% deposit and advertising costs. Staff determined the property is landlocked and informed both potential buyers. At the March 18, 2019 Regular Meeting of the Board of Commissioners, the Board voted to declare the property surplus and accepted the offer of Mr. Jones to be advertised in *The Sanford Herald*. The offer was advertised on March 27, 2019 in *The Sanford Herald*. County Attorney Whitney Parrish received a couple of inquiries about the offer but no one submitted an official upset bid. Mr. Jones has contact a local attorney to review the deed and is ready to purchase the property. Commissioner Knecht moved to dispose of the property with instructions to authorize the Chair to sign any documentation to effectuate the transfer and a resolution was adopted by the Board, a copy of which is attached to these minutes and by this reference made a part hereof. Upon a vote, the results were as follows:

Aye: Dalrymple, Del Palazzo, Dodson, Knecht, Reives, Sharpe, Smith  
No: None

The Chair ruled the motion had carried unanimously.

**B. Vote on the Amendment to the Non-Profit Policy**

On February 7, 2011, the Board of Commissioners adopted a policy regarding non-profit agency funding. At the March 18, 2019 Regular Meeting of the Board, the Board voted to amend the policy to include a provision that any concerns or requests from the Board of Commissioners should be addressed in a timely fashion. Based on that vote, staff made the changes and added a few more provisions to the policy and to the agreement that the non-profits are required to sign. Staff and the Board hopes that these changes will be clear to all the non-profits seeking County funding. Commissioner Reives moved to approve the changes and

included three other changes to be added: 1) change to the policy on page 154, to include the words "and/or services being provided to our citizens" at the end of bullet point number three so the bullet point now reads "If during the fiscal year it receives funding, there is a major operational change of structure of the organization, the organization must notify the County and be available to provide an update as to how the change may affect the organization as a whole, or any changes it may have on the County's funding and/or services being provided to our citizens;" 2) on page 156 under number 5 change "will" to "may be required to" so number 5 now reads "At any time during the funding year, the COUNTY can request that the AGENCY appear in front of the Board of County Commissioners and provide information on how it is spending the County's funds. If the AGENCY fails to comply, funding can be terminated for the remainder of the year and the AGENCY may be required to reimburse any funds already expended;" and 3) on page 156 under number 6 to include "and services being provided to our citizens" so number 6 will now read "If at any time during the funding year, the AGENCY undergoes any major operational changes to the organization, the COUNTY must be notified immediately of the change and the AGENCY must make itself available to appear before the Board to address the change and address how the change may affect any funding provided by the COUNTY and /or services being provided to our citizens." Commissioner Smith then moved to approve the noted changes. Upon a vote, the results were as follows:

Aye: Dalrymple, Del Palazzo, Dodson, Knecht, Reives, Sharpe, Smith  
No: None

The Chair ruled the motion had carried unanimously.

## VIII. NEW BUSINESS

### A. Medicaid Transformation Presentation

Social Services Director, Angelina Noel, provided the Board with a PowerPoint presentation regarding Medicaid transformation. The transformation began with North Carolina Session Law 2015-245, which directs DHHS to transition to managed care for physical health for Medicaid. This allows private companies to bid on Medicaid contracts, as opposed to the Medicaid "fee for service" traditional structure. The new structure is very similar to what that state has for mental health citizens. There will now be three options: 1) some will continue to receive fee for service plans, 2) there is now a standard plan option that the majority of our beneficiaries will transition to and, 3) a tailored plan option will serve moderate to severe mental health needs. Lee County is in rollout two, meaning 2020. In July 2019, enrollment broker must be operational in Raleigh. October through December 2019 will be open enrollment and an individual must call the broker and sign up. If a beneficiary fails to sign up, they will be auto enrolled. In February 2020, Lee County will go live with standard plan enrollees. In July 2021, tailored plan options will be available for beneficiaries served by LME/MCOs. Lee County will still determine their eligibility. DSS will have increase phone calls and will need to educate the public on the process. DSS hopes to be able to manage the phone calls and hopes that the process will get easier as the public becomes familiar with the new system.

No action was taken

### B. Approval of the FY2019-2020 Memorandum of Understanding between DHHS and Lee County

Social Services Director, Angelina Noel, presented an updated MOU for fiscal year 2019-2020 between DHHS and Lee County. NC Session Law 2017-41 requires all counties to enter

into an annual written agreements with DHHS for all social services programs, except Medicaid. The first MOU was signed in fiscal year 2018-2019. Back in June 2018, the Board went through the MOU in more detail. This fiscal year, the performance measures stay the same but there are now three different attachments. Attachment I of the agreement contains thirteen measures that will remain static numbers for this year. The County is expected to meet all thirteen of these measures and if it fails to do so, it will be placed in corrective action. DHHS came up with these measures because they can be validated. The corrective action protocol is outlined in Attachment II. Attachment III contains thirteen more measures, but these will be growth measures, meaning there will be no corrective action for failing to meet those measures. DHHS has not provided any reports to validate those measures. There was then some discussion on the child support measures. After further discussion, Commissioner Smith moved to approve the agreement, a copy of which is attached to these minutes and by this reference made a part hereof, and authorized the Chair to sign the agreement. Upon a vote, the results were as follows:

Aye: Dalrymple, Del Palazzo, Dodson, Knecht, Reives, Sharpe, Smith  
No: None

The Chair ruled the motion had carried unanimously.

**C. Approval of the Audit Contract with Thompson, Price, Scott, Adams & Co. P.A. for the fiscal year 2019-2020**

Every fiscal year, the County is required to have an audit of its financial statements performed. On April 25, 2015, the Board approved a five-year audit services proposal with Thompson, Price, Scott, Adams & Co, P.A. This fiscal year's audit contract is budgeted for \$35,500.00. The Local Government Commissioner requires that the audit firm, the Board of Commissioners and the LGC, approve the audit contract before audit work can begin. Commissioner Knecht moved to approve the audit contract, a copy of which is attached to these minutes and by this reference made a part hereof. Upon a vote, the results were as follows:

Aye: Dalrymple, Del Palazzo, Dodson, Knecht, Reives, Sharpe, Smith  
No: None

The Chair ruled the motion had carried unanimously.

**D. Reduction of the Membership of the Joint Environmental Affairs Board**

Planning Director Marshall Dowdy presented to the Board that currently the Environmental Affairs Board has eleven members, five from the County, five from the City and one from the Town of Broadway. However, due to the large membership, getting a quorum has been problematic. The current six members have contacted staff about reducing the membership. What is proposed is going to a seven-member board, with three representatives from the County, three from the City and one from the Town of Broadway. The City Council and the Broadway Town Council have already approved. Commissioner Reives made a motion to reduce the number of members from eleven to seven and then amended his motion to include one alternate for the County. Upon a vote, the results were as follows:

Aye: Dalrymple, Del Palazzo, Dodson, Knecht, Reives, Sharpe, Smith  
No: None

The Chair ruled the motion had carried unanimously.

E. Adoption of a Resolution for a Minimum Tax Bill-voted on after Request to Appear

F. Approval of the 2008 Tax Bill Write Off-voted on after Request to Appear

G. Approval of the 2009-2014 Tax Bill Write Off for Registered Motor Vehicles-voted on after Request to Appear

H. Approved the Request from the Sanford-Lee County Regional Airport Authority for a loan from the Revolving Loan Fund

The Airport Authority has filed an application with the County's RLF, requesting a loan of \$400,000 from the RLF. The term of the loan will be 59 months and the interest rate would be 0%. The proceeds of the loan will be used for furniture, audio-visual and security equipment for the new terminal building as well as site improvements. There is also a small business loan that was set up by the Economic Development Corporation for \$225,000 that is run by SAGA. They no longer have any loans outstanding. Commissioner Reives made a motion to approve the loan amount to the Airport Authority in the amount of \$400,000.00. Following further discussion, upon a vote, the results were as follows:

Aye: Dalrymple, Del Palazzo, Dodson, Knecht, Reives, Sharpe, Smith  
No: None

The Chair ruled the motion had carried unanimously.

I. Presentation of the Multi-Use Sports Complex

In 2015, a group of elected officials and staff with the County of Lee, the City of Sanford and the Town of Broadway began meeting to look into the feasibility of a multi-use sports complex in the County. A market analysis and feasibility study for such a complex presented its findings on June 30, 2015. The proposed site is off Highway 42, heading into Broadway. The group has recently started meeting again to discuss the proposed complex and an update was provided to the Board of Commissioners. Dr. Crumpton presented a powerpoint that showed the survey that was conducted within the County asking citizens certain questions regarding the needs of the community. Key findings include that the community supports the goals and the external market is highly competitive. It was noted that this is not a self-sufficient facility; this would require significant local funding. The person who is interested in donating the land is interested in building two hotels on the land they keep. Dr. Crumpton also presented some conceptual maps. The Committee plans on meeting again in a couple of weeks to try to gauge support and what steps they need to move forward.

No action was taken

J. Appointment of Lee County Tax Administrator

Mary Yow, the current Tax Administrator is retiring on June 30, 2019. The Board has chosen Michael Brown to fill the position of Lee County Tax Administrator for four years. His appointment will become effective June 1, 2019 and continue until May 31, 2023. Commissioner Smith moved to appoint Michael Brown and adopt the resolution, a copy of which is attached to the minutes and by this reference made a part hereof. Upon a vote, the results were as follows:

Aye: Dalrymple, Del Palazzo, Dodson, Knecht, Reives, Sharpe, Smith  
No: None

The Chair ruled the motion had carried unanimously.

**IX. MANAGERS' COMMENTS**

**X. COMMISSIONERS' COMMENTS**

**XI. CLOSED SESSION**

At 8:42 Commissioner Dodson moved to go into closed session per NCGS 143-318.11(a)(5) to establish or instruct the staff or agents concerning the negotiations of the amount of compensation or other terms of an employment contract. Upon a vote, the results were as follows:

Aye: Dalrymple, Del Palazzo, Dodson, Knecht, Reives, Sharpe, Smith  
Nay: None

The Chair ruled the motion had carried unanimously.

**ADJOURNMENT**

At 8:54pm, Commissioner Knecht moved to adjourn the meeting. Upon a vote, the results were as follows:

Aye: Dalrymple, Del Palazzo, Dodson, Knecht, Reives, Sharpe, Smith  
Nay: None

The Chair ruled the motion had carried unanimously and the meeting adjourned at 8:54 p.m.

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Amy M. Dalrymple, Chair  
Lee County Board of Commissioners

ATTEST:

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Whitney Parrish, Deputy Clerk to the Board



**ITEM #:**  
**II. B.**

# LEE COUNTY AGENDA ABSTRACT BOARD OF COMMISSIONERS MEETING

(Use the Down or Up Arrows to move between fields of the Form)

**MEETING DATE:** May 20, 2019

**SUBJECT:** Minutes from the May 6, 2019 Closed Session Meeting

**DEPARTMENT:** Governing Body

**CONTACT PERSON:** Whitney Parrish, Deputy Clerk to the Board

**TYPE:**  Consent Agenda     Action Item     Public Hearing     Information

REQUEST	Approve closed session minutes from the May 6, 2019 closed session meeting
BUDGET IMPACT	N/A
ATTACHMENTS	Minutes are in a sealed envelope included in each Commissioner's agenda package
PRIOR BOARD ACTION	N/A
RECOMMENDATION	Approve minutes as presented.
SUMMARY	

A "draft" copy of the minutes from the May 6, 2019 closed session meeting of the Board has been prepared and provided for the Board's review.



ITEM #:  
II. C.

# LEE COUNTY AGENDA ABSTRACT BOARD OF COMMISSIONERS MEETING

(Use the Down or Up Arrows to move between fields of the Form)

**MEETING DATE:** May 20, 2019

**SUBJECT:** Tax Release and Refund Report for April 2019

**DEPARTMENT:** Tax Administration

**CONTACT PERSON:** Mary Yow, Tax Administrator

**TYPE:**  Consent Agenda  Action Item  Public Hearing  Information

REQUEST	Approval of Tax Releases and Refunds for April 2019
BUDGET IMPACT	No
ATTACHMENTS	<ol style="list-style-type: none"> <li>1) Release Code Descriptions</li> <li>2) General Statue 105-381(b)</li> <li>3) Real Property Abatement Report</li> <li>4) Personal Property Abatement Report</li> </ol>
PRIOR BOARD ACTION	N/A
RECOMMENDATION	Approve Tax Release and Refunds for April as presented
<b>SUMMARY</b>	

A release or refund is necessary to adjust or correct an existing tax bill that is in error. North Carolina General Statute 105-381(b) requires the governing body to determine the release or refund of a tax.

RELEASE CODE DESCRIPTIONS

1	ALLOWABLE EXEMPTION NOT APPLIED
2	LAND USE DEFERMENT NOT APPLIED OR ABATEMENT MADE AFTER BILLING
3	PROPERTY DOUBLE LISTED BY TAXPAYER OR TAX OFFICE
4	TAX SITUS OF PROPERTY OUTSIDE JURISDICTION
5	REAL PROPERTY DATA IN ERROR
6	PERSONAL PROPERTY DATA IN ERROR
7	PROPERTY LISTED TO INCORRECT OWNER
8	LAST LIST PENALTY
9	TAXPAYER LISTED PERSONAL PROPERTY THEY DID NOT OWN
10	PROPERTY VALUE APPEALED TO ASSESSOR, BOARD OF E&R OR PROPERTY TAX COMMISSION
11	BUSINESS PERSONAL PROPERTY ASSESSMENT: NO LONGER OWNED OR OUT OF BUSINESS
12	PERSONAL PROPERTY SOLD PRIOR TO JAN 1ST.
13	TAX FORECLOSURE SALE
T	TAXPAYER
TO	TAX OFFICE
LR	LAND RECORDS
TA	TAX APPRAISAL
TOS	TAX OFFICE SOFTWARE
TFS	TAX FORECLOSURE SALE
GP	GARBAGE PICKUP
VA	VACANT OR ADJUSTMENT FOR WASTE FEE
CY	CITY OF SANFORD OR TOWN OR BROADWAY
B	BANKRUPTCY SETTLEMENT
A	AUDIT APPEAL OR ERROR



**§ 105-381. Taxpayer's remedies.**

(a) **Statement of Defense.** - Any taxpayer asserting a valid defense to the enforcement of the collection of a tax assessed upon his property shall proceed as hereinafter provided.

- (1) For the purpose of this subsection, a valid defense shall include the following:
  - a. A tax imposed through clerical error;
  - b. An illegal tax;
  - c. A tax levied for an illegal purpose.
- (2) If a tax has not been paid, the taxpayer may make a demand for the release of the tax claim by submitting to the governing body of the taxing unit a written statement of his defense to payment or enforcement of the tax and a request for release of the tax at any time prior to payment of the tax.
- (3) If a tax has been paid, the taxpayer, at any time within five years after said tax first became due or within six months from the date of payment of such tax, whichever is the later date, may make a demand for a refund of the tax paid by submitting to the governing body of the taxing unit a written statement of his defense and a request for refund thereof.

(b) **Action of Governing Body.** - Upon receiving a taxpayer's written statement of defense and request for release or refund, the governing body of the taxing unit shall within 90 days after receipt of such request determine whether the taxpayer has a valid defense to the tax imposed or any part thereof and shall either release or refund that portion of the amount that is determined to be in excess of the correct tax liability or notify the taxpayer in writing that no release or refund will be made. The governing body may, by resolution, delegate its authority to determine requests for a release or refund of tax of less than one hundred dollars (\$100.00) to the finance officer, manager, or attorney of the taxing unit. A finance officer, manager, or attorney to whom this authority is delegated shall monthly report to the governing body the actions taken by him on requests for release or refund. All actions taken by the governing body or finance officer, manager, or attorney on requests for release or refund shall be recorded in the minutes of the governing body. If a release is granted or refund made, the tax collector shall be credited with the amount released or refunded in his annual settlement.

Real Property Abatement  
Report

Lee County, NC

From: 4/1/2019

To: 4/30/2019

Name	Value	County	City	Fire District	Solid Waste	Total	Release Code
<b>2017</b>							
<b>Refund</b>							
GILLIKIN, LINDA DEAN	\$0.00	\$0.00	\$0.00	\$0.00	\$102.00	\$102.00	VA
<b>Refund Totals:</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$102.00</b>	<b>\$102.00</b>	
<b>2016</b>							
<b>Refund</b>							
GILLIKIN, LINDA DEAN	\$0.00	\$0.00	\$0.00	\$0.00	\$95.00	\$95.00	VA
<b>Refund Totals:</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$95.00</b>	<b>\$95.00</b>	
<b>2015</b>							
<b>Refund</b>							
GILLIKIN, LINDA DEAN	\$0.00	\$0.00	\$0.00	\$0.00	\$95.00	\$95.00	VA
<b>Refund Totals:</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$95.00</b>	<b>\$95.00</b>	
<b>2014</b>							
<b>Refund</b>							
GILLIKIN, LINDA DEAN	\$0.00	\$0.00	\$0.00	\$0.00	\$90.00	\$90.00	VA
<b>Refund Totals:</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$90.00</b>	<b>\$90.00</b>	
<b>2013</b>							
<b>Refund</b>							
GILLIKIN, LINDA DEAN	\$0.00	\$0.00	\$0.00	\$0.00	\$90.00	\$90.00	VA
<b>Refund Totals:</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$90.00</b>	<b>\$90.00</b>	



Committed Today for a Better Tomorrow

Personal Property  
Abatement Report

Lee County, NC

From: 4/1/2019

To: 4/30/2019

Name	Value	County Tax	County Penalty	City Tax	City Penalty	District Tax	District Penalty	Total	Rel. Code
<b>2018</b>									
<b>Release</b>									
KLOTZ, STEVEN LEE	\$30,470.00	\$242.24	\$0.00	\$188.91	\$0.00	\$0.00	\$0.00	\$431.15	T-1
ZAMORA, MARIA	\$5,540.00	\$44.04	\$4.40	\$0.00	\$0.00	\$5.32	\$0.53	\$54.30	T-12
<b>Release Totals:</b>	<b>\$36,010.00</b>	<b>\$286.28</b>	<b>\$4.40</b>	<b>\$188.91</b>	<b>\$0.00</b>	<b>\$5.32</b>	<b>\$0.53</b>	<b>\$485.45</b>	



ITEM #:  
**II. D.**

# LEE COUNTY AGENDA ABSTRACT BOARD OF COMMISSIONERS MEETING

(Use the Down or Up Arrows to move between fields of the Form)

**MEETING DATE:** May 20, 2019

**SUBJECT:** Energy Provider Agreements for Crisis Intervention and Low Income Energy Assistance Program

**DEPARTMENT:** Social Services

**CONTACT PERSON:** Angelina Noel, Director

**TYPE:**  Consent Agenda     Action Item     Public Hearing     Information

REQUEST	Approve Energy Provider Agreements for Energy Assistance Programs
BUDGET IMPACT	CIP allocation is estimated at \$261,083. LIEAP allocation is estimated at \$261,083 for FY 19-20. Both revenues and expenditures are budgeted based on state budget estimate. 100% federally funded with no county funding requirement. Budget estimate is an increase of \$16,106 from FY 18-19 in both CIP and LIEAP.
ATTACHMENTS	Dominion Energy-Vendor Agreement Central Electric Membership Corporation- Vendor Agreement Duke Energy Progress-Vendor Agreement
PRIOR BOARD ACTION	None
RECOMMENDATION	Approve Energy Agreements
<b>SUMMARY</b>	

There are two Energy Programs that are administered by Social Services, the Crisis Intervention Program (CIP) and Low Income Energy Assistance Program (LIEAP). CIP is a program that provides assistance to eligible households that are in a heating or cooling related emergency. The goal of the CIP program is to help families stay warm in the winter and cool in the summer. By doing so, this reduces the risk of health and safety problems such as illness, fire, or eviction.

LIEAP is a program that provides for a one-time vendor payment to help eligible households pay their heating bills. Only households containing an elderly person age 60 and above or a disabled persons receiving services through the Division of Aging and Adult Services (DAAS) are eligible to potentially receive benefits from December 1st through December 31st or until funds are exhausted. If funds are still available after December 31st, any household can potentially receive benefits from January 1st through March 31st or until funds are exhausted.

Both programs are funded by federal dollars only. For both programs, the county pays the vendor directly and the county is reimbursed, by the state, through the 1571 process.

The vendor agreements attached represent vendors that are projected to exceed \$20,000 and are subject to Board of Commissioner approval. These vendors are Dominion Energy (formally PSNC Energy), CEMC and Duke Energy Progress.

## Energy Provider Agreement

Lee \_\_\_\_\_ County Department of Social Services

The Lee \_\_\_\_\_ County Department of Social Services and the undersigned Energy Provider hereby enter into this Energy Provider Agreement to facilitate payment by the County Department to the Energy Provider of certain energy costs of eligible households and agree as follows:

The Energy Provider agrees to participate during the entire course of the 12-month period of (date) 07/01/2019 to (date) 06/30/2020, unless this Agreement is terminated sooner as provided for below, in the Low-Income Home Energy Assistance Program (LIHEAP), which includes, but, is not limited to, the Crisis Intervention Program (CIP) and the Low-Income Energy Assistance Program (LIEAP). The County Department agrees to pay to the Energy Provider a pledge amount for each eligible household to receive LIHEAP assistance, and the Energy Provider agrees, as conditions of participation in the LIHEAP and the receipt of payment thereunder, to the following:

### Definitions:

1. "Eligible Household" means a household whose qualifying member has applied for CIP and/or LIEAP and meets the eligibility criteria for these programs.
2. "Home Energy" shall include electricity, fuel oil, natural gas, coal, propane, wood, kerosene, or any other fuel used to heat or cool a residential dwelling.
3. "County Department" means the County Department of Social Services or Consolidated/Human Services Agency of a County (for the purposes hereof, when the County is so designated by the State, the Contractor may consider, interact, and deal with such County).
4. "Pledge Amount" means a promise to pay the costs agreed upon between the County Department and Energy Provider to alleviate the eligible household crises.

### Responsibility of the County Department of Social Services:

1. Determine household eligibility as set forth by policy.
2. Advise the Energy Provider of the name, address, account number, if any, and amount pledged to the account of each eligible household.
3. Notify the Eligible Household of the pledge amount to be made on their behalf by the County to the Energy Provider.
4. For each Eligible Household, make timely payments to the Energy Provider of the portion of the Pledge Amount for credit to that Eligible Household's account for Home Energy supplied in accordance with the terms of this Agreement.

### Responsibility of the Energy Provider:

1. To collect from the Eligible Household, in the normal billing process, the difference between the actual cost of the Home Energy and the pledge amount paid by the County Department.
2. Follow established Energy Provider policies and procedures regarding notices of termination of service, refunds, and negotiating for the paying past due accounts.
3. The Energy Provider will NOT discriminate against any Eligible Household in any manner, including in the terms and conditions of sale, credit, delivery, or price, whether in cost of goods

supplied or the service provided, due to a household's participation in CIP or LIEAP and/or any other nonfederal CIP funding.

4. Shall credit the entire amount to an Eligible Household's account immediately upon receipt of payment of the Pledge Amount, regardless of whether the payment results in a credit balance on the account.
5. The Energy Provider will not exchange an Eligible Household energy voucher for cash nor will any cash or cash equivalent be given to any person or entity other than the County Department for excess credit caused by the payment of the Pledge Amount.
6. If a Pledge Amount has been made to an account and should the qualifying member of the Eligible Household die, the credit balance may be left on the same service account for the use of the surviving members of the Eligible Household. If there is no such household member, the vendor shall return the balance to the County Department within thirty (30) days thereof.
7. Shall adhere to all requirements of Federal and State laws and regulations.

**Monitoring /Reporting:**

1. The Energy Provider will maintain records documenting the amount of energy assistance that the Eligible Household received and the date of receipt for all Home Energy programs. Data collection is critical as it is needed for federal reporting requirements. Records are to be maintained for two years after the state fiscal year (SFY) ends (June 30).
2. Records shall include the name, address, account number, bill payment history, cost and consumption data, and history upon request for the last 12-month billing period.
3. The Energy Provider, the State, and County Department will cooperate with any Federal, State, or local investigation, audit or program review.
4. The State Auditor shall have access to persons and records as a result of all contracts or grants (including this Agreement) entered into by State agencies or political subdivisions in accordance with General Statute 147-64.7. Additionally, as the State funding authority, the North Carolina Department of Health and Human Services shall have access to persons and records as a result of all contracts or grants (including this Agreement) entered into by State agencies or political subdivisions.

**Termination of Agreement:**

1. Termination of this Agreement may occur by either party terminating its duties under this Agreement upon provision of thirty (30) calendar days written notice to the other.
2. This Agreement will terminate immediately should the Energy Provider supply false information or attempt to defraud the State, the County Department, or the eligible household. In such cases no additional reimbursement will be made to the Energy Provider unless and until such matters are resolved and the Energy Provider is exonerated of wrongdoing.

**Signature:**

The undersigned Energy Provider hereby agrees and warrants to the State of North Carolina and the County Department, that the undersigned will comply with the terms and conditions outlined in this Agreement to receive monies under the Low-Income Home Energy Assistance Program.

I hereby declare that I have read and understand the above and agree to comply and abide with the terms and conditions specified while participating in the program.

<u>Central Electric Membership Corporation</u>	_____
(Print Company Name)	(Print County Director Name)
_____	_____
(Signature of Company Representative)	(Signature of County Director)
<u>[Handwritten Signature]</u>	_____
(Date)	(Date)
<u>4/4/19</u>	_____
_____	PO Box 1066
(Print Mailing Address)	(Print Mailing Address)
<u>PO Box 1107</u>	Sanford, NC 27331
(Print City, State, Zip Code)	(Print City, State, Zip Code)
<u>Sanford NC 27331</u>	_____
(Telephone Number)	(Telephone Number)
<u>919 774-4900</u>	_____
(Provider Federal ID Number (FEIN) or SSN)	(Primary E-mail Address)
<u>56-0478157</u>	_____
(Primary E-mail Address)	

The County of Lee North Carolina

Vendor/Contractor Name: Central Electric Membership Corporation  
\_\_\_\_\_

**IRAN DIVESTMENT ACT CERTIFICATION  
REQUIRED BY N.C.G.S. 147-86.59**

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As of the date listed below, the Vendor/Contractor listed above certifies that they are not on the Iran Final Divestment List ("List") created by the North Carolina State Treasurer pursuant to N.C.G.S. 147-86.58. Contractor/Vendor shall not utilize any subcontractor that is identified on the list.

**E-VERIFY CERTIFICATION  
REQUIRED BY N.C.G.S. 143-48.5 & 147-33.95(g)**

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As of the date listed below, the Vendor/Contractor listed above and all Vendor/Contractor's subcontractors certify that they are in compliance with the requirements of Article 2 of Chapter 64 of the North Carolina General Statutes, including the requirement for each employer with more than 25 employees in North Carolina to verify the work authorization of its employees through the federal E-Verify system.

The undersigned hereby certifies that he/she is authorized by the entity listed above to make the foregoing statement.

Jill Adcock  
Signature

Jill Adcock  
Printed Name

4/4/19  
Date

Director of Cust Service  
Printed Title



## Energy Provider Agreement

OLee County Department of Social Services

The Lee County Department of Social Services and the undersigned Energy Provider hereby enter into this Energy Provider Agreement to facilitate payment by the County Department to the Energy Provider of certain energy costs of eligible households and agree as follows:

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3. "County Department" means the County Department of Social Services or Consolidated/Human Services Agency of a County (for the purposes hereof, when the County is so designated by the State, the Contractor may consider, interact, and deal with such County).
4. "Pledge Amount" means a promise to pay the costs agreed upon between the County Department and Energy Provider to alleviate the eligible household crises.

### Responsibility of the County Department of Social Services:

1. Determine household eligibility as set forth by policy.
2. Advise the Energy Provider of the name, address, account number, if any, and amount pledged to the account of each eligible household.
3. Notify the Eligible Household of the pledge amount to be made on their behalf by the County to the Energy Provider.
4. For each Eligible Household, make timely payments to the Energy Provider of the portion of the Pledge Amount for credit to that Eligible Household's account for Home Energy supplied in accordance with the terms of this Agreement.

### Responsibility of the Energy Provider:

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3. The Energy Provider will NOT discriminate against any Eligible Household in any manner, including in the terms and conditions of sale, credit, delivery, or price, whether in cost of goods

supplied or the service provided, due to a household's participation in CIP or LIEAP and/or any other nonfederal CIP funding.

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7. Shall adhere to all requirements of Federal and State laws and regulations.

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1. The Energy Provider will maintain records documenting the amount of energy assistance that the Eligible Household received and the date of receipt for all Home Energy programs. Data collection is critical as it is needed for federal reporting requirements. Records are to be maintained for two years after the state fiscal year (SFY) ends (June 30).
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**Signature:**

The undersigned Energy Provider hereby agrees and warrants to the State of North Carolina and the County Department, that the undersigned will comply with the terms and conditions outlined in this Agreement to receive monies under the Low-Income Home Energy Assistance Program.

I hereby declare that I have read and understand the above and agree to comply and abide with the terms and conditions specified while participating in the program.

Dominion Energy

(Print Company Name)

Mina Lipscomb

(Signature of Company Representative)

4-18-2019

(Date)

PO Box 935

(Print Mailing Address)

Lowell, NC 28098

(Print City, State, Zip Code)

704-810-3204

(Telephone Number)

56-2128483

(Provider Federal ID Number (FEIN) or SSN)

glipscomb@scara.com

(Primary E-mail Address)

(Print County Director Name)

(Signature of County Director)

(Date)

PO Box 1066

(Print Mailing Address)

Sanford NC 27331

(Print City, State, Zip Code)

(Telephone Number)

(Primary E-mail Address)

The County of Lee North Carolina

Vendor/Contractor Name Dominion Energy

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**IRAN DIVESTMENT ACT CERTIFICATION  
REQUIRED BY N.C.G.S. 147-86.59**

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As of the date listed below, the Vendor/Contractor listed above certifies that they are not on the Iran Final Divestment List ("List") created by the North Carolina State Treasurer pursuant to N.C.G.S. 147-86.58. Contractor/Vendor shall not utilize any subcontractor that is identified on the list

**E-VERIFY CERTIFICATION  
REQUIRED BY N.C.G.S. 143-48.5 & 147-33.95(g)**

---

As of the date listed below, the Vendor/Contractor listed above and all Vendor/Contractor's subcontractors certify that they are in compliance with the requirements of Article 2 of Chapter 64 of the North Carolina General Statutes, including the requirement for each employer with more than 25 employees in North Carolina to verify the work authorization of its employees through the federal E-Verify system.

The undersigned hereby certifies that he/she is authorized by the entity listed above to make the foregoing statement

  
\_\_\_\_\_  
Signature

M. SHAWN RANDALL  
\_\_\_\_\_  
Printed Name

4/23/19  
\_\_\_\_\_  
Date

V.P. - GAS OPERATIONS  
\_\_\_\_\_  
Printed Title

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Page 1 of 3

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Economic and Family Services

supplied or the service provided, due to a household's participation in CIP or LIEAP and/or any other nonfederal CIP funding.

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Signature:

The undersigned Energy Provider hereby agrees and warrants to the State of North Carolina and the County Department, that the undersigned will comply with the terms and conditions outlined in this Agreement to receive monies under the Low-Income Home Energy Assistance Program.

I hereby declare that I have read and understand the above and agree to comply and abide with the terms and conditions specified while participating in the program.

Duke Energy Progress

(Print Company Name)

Colander Power

(Signature of Company Representative)

5/2/2019

(Date)

P.O. Box 1771

(Print Mailing Address)

Raleigh, NC 27602

(Print City, State, Zip Code)

919 977-2001

(Telephone Number)

56-0165465

(Provider Federal ID Number (FEIN) or SSN)

DepConsumerAffairs@duke-energy.com

(Primary E-mail Address)

(Print County Director Name)

(Signature of County Director)

(Date)

PO Box 1066

(Print Mailing Address)

Sanford, NC 27331

(Print City, State, Zip Code)

(Telephone Number)

(Primary E-mail Address)

The County of Lee North Carolina

Vendor/Contractor Name: Duke Energy Progress

**IRAN DIVESTMENT ACT CERTIFICATION**  
**REQUIRED BY N.C.G.S. 147-86.59**

As of the date listed below, the Vendor/Contractor listed above certifies that they are not on the Iran Final Divestment List ("List") created by the North Carolina State Treasurer pursuant to N.C.G.S. 147-86.58. Contractor/Vendor shall not utilize any subcontractor that is identified on the list.

**E-VERIFY CERTIFICATION**  
**REQUIRED BY N.C.G.S. 143-48.5 & 147-33.95(g)**

As of the date listed below, the Vendor/Contractor listed above and all Vendor/Contractor's subcontractors certify that they are in compliance with the requirements of Article 2 of Chapter 64 of the North Carolina General Statutes, including the requirement for each employer with more than 25 employees in North Carolina to verify the work authorization of its employees through the federal E-Verify system.

The undersigned hereby certifies that he/she is authorized by the entity listed above to make the foregoing statement.

Cosandra Best (KB)  
Signature

Cosandra Best  
Printed Name

5/2/2019  
Date

Consumer Affairs Mgr.  
Printed Title



## Energy Provider Agreement

Lee \_\_\_\_\_ County Department of Social Services

The Lee \_\_\_\_\_ County Department of Social Services and the undersigned Energy Provider hereby enter into this Energy Provider Agreement to facilitate payment by the County Department to the Energy Provider of certain energy costs of eligible households and agree as follows:

The Energy Provider agrees to participate during the entire course of the 12-month period of (date) 07/01/2019 to (date) 06/30/2020, unless this Agreement is terminated sooner as provided for below, in the Low-Income Home Energy Assistance Program (LIHEAP), which includes, but, is not limited to, the Crisis Intervention Program (CIP) and the Low-Income Energy Assistance Program (LIEAP). The County Department agrees to pay to the Energy Provider a pledge amount for each eligible household to receive LIHEAP assistance, and the Energy Provider agrees, as conditions of participation in the LIHEAP and the receipt of payment thereunder, to the following:

### Definitions:

1. "Eligible Household" means a household whose qualifying member has applied for CIP and/or LIEAP and meets the eligibility criteria for these programs.
2. "Home Energy" shall include electricity, fuel oil, natural gas, coal, propane, wood, kerosene, or any other fuel used to heat or cool a residential dwelling.
3. "County Department" means the County Department of Social Services or Consolidated/Human Services Agency of a County (for the purposes hereof, when the County is so designated by the State, the Contractor may consider, interact, and deal with such County).
4. "Pledge Amount" means a promise to pay the costs agreed upon between the County Department and Energy Provider to alleviate the eligible household crises.

### Responsibility of the County Department of Social Services:

1. Determine household eligibility as set forth by policy.
2. Advise the Energy Provider of the name, address, account number, if any, and amount pledged to the account of each eligible household.
3. Notify the Eligible Household of the pledge amount to be made on their behalf by the County to the Energy Provider.
4. For each Eligible Household, make timely payments to the Energy Provider of the portion of the Pledge Amount for credit to that Eligible Household's account for Home Energy supplied in accordance with the terms of this Agreement.

### Responsibility of the Energy Provider:

1. To collect from the Eligible Household, in the normal billing process, the difference between the actual cost of the Home Energy and the pledge amount paid by the County Department.
2. Follow established Energy Provider policies and procedures regarding notices of termination of service, refunds, and negotiating for the paying past due accounts.
3. The Energy Provider will NOT discriminate against any Eligible Household in any manner, including in the terms and conditions of sale, credit, delivery, or price, whether in cost of goods

supplied or the service provided, due to a household's participation in CIP or LIEAP and/or any other nonfederal CIP funding.

4. Shall credit the entire amount to an Eligible Household's account immediately upon receipt of payment of the Pledge Amount, regardless of whether the payment results in a credit balance on the account.
5. The Energy Provider will not exchange an Eligible Household energy voucher for cash nor will any cash or cash equivalent be given to any person or entity other than the County Department for excess credit caused by the payment of the Pledge Amount.
6. If a Pledge Amount has been made to an account and should the qualifying member of the Eligible Household die, the credit balance may be left on the same service account for the use of the surviving members of the Eligible Household. If there is no such household member, the vendor shall return the balance to the County Department within thirty (30) days thereof.
7. Shall adhere to all requirements of Federal and State laws and regulations.

**Monitoring /Reporting:**

1. The Energy Provider will maintain records documenting the amount of energy assistance that the Eligible Household received and the date of receipt for all Home Energy programs. Data collection is critical as it is needed for federal reporting requirements. Records are to be maintained for two years after the state fiscal year (SFY) ends (June 30).
2. Records shall include the name, address, account number, bill payment history, cost and consumption data, and history upon request for the last 12-month billing period.
3. The Energy Provider, the State, and County Department will cooperate with any Federal, State, or local investigation, audit or program review.
4. The State Auditor shall have access to persons and records as a result of all contracts or grants (including this Agreement) entered into by State agencies or political subdivisions in accordance with General Statute 147-64.7. Additionally, as the State funding authority, the North Carolina Department of Health and Human Services shall have access to persons and records as a result of all contracts or grants (including this Agreement) entered into by State agencies or political subdivisions.

**Termination of Agreement:**

1. Termination of this Agreement may occur by either party terminating its duties under this Agreement upon provision of thirty (30) calendar days written notice to the other.
2. This Agreement will terminate immediately should the Energy Provider supply false information or attempt to defraud the State, the County Department, or the eligible household. In such cases no additional reimbursement will be made to the Energy Provider unless and until such matters are resolved and the Energy Provider is exonerated of wrongdoing.

**Signature:**

The undersigned Energy Provider hereby agrees and warrants to the State of North Carolina and the County Department, that the undersigned will comply with the terms and conditions outlined in this Agreement to receive monies under the Low-Income Home Energy Assistance Program.

I hereby declare that I have read and understand the above and agree to comply and abide with the terms and conditions specified while participating in the program.

Central Electric Membership Corporation  
(Print Company Name)

[Signature]  
(Signature of Company Representative)

4/4/19  
(Date)

PO Box 1107  
(Print Mailing Address)

Sanford NC 27331  
(Print City, State, Zip Code)

919 774-4900  
(Telephone Number)

56-0478157  
(Provider Federal ID Number (FEIN) or SSN)

[Blank]  
(Primary E-mail Address)

[Blank]  
(Print County Director Name)

[Blank]  
(Signature of County Director)

[Blank]  
(Date)

PO Box 1066  
(Print Mailing Address)

Sanford, NC 27331  
(Print City, State, Zip Code)

[Blank]  
(Telephone Number)

[Blank]  
(Primary E-mail Address)

The County of Lee North Carolina

Vendor/Contractor Name: Central Electric Membership Corporation

**IRAN DIVESTMENT ACT CERTIFICATION  
REQUIRED BY N.C.G.S. 147-86.59**

---

As of the date listed below, the Vendor/Contractor listed above certifies that they are not on the Iran Final Divestment List ("List") created by the North Carolina State Treasurer pursuant to N.C.G.S. 147-86.58. Contractor/Vendor shall not utilize any subcontractor that is identified on the list.

**E-VERIFY CERTIFICATION  
REQUIRED BY N.C.G.S. 143-48.5 & 147-33.95(g)**

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As of the date listed below, the Vendor/Contractor listed above and all Vendor/Contractor's subcontractors certify that they are in compliance with the requirements of Article 2 of Chapter 64 of the North Carolina General Statutes, including the requirement for each employer with more than 25 employees in North Carolina to verify the work authorization of its employees through the federal E-Verify system.

The undersigned hereby certifies that he/she is authorized by the entity listed above to make the foregoing statement.

Jill Adcock  
Signature

Jill Adcock  
Printed Name

4/4/19  
Date

Director of Cust Service  
Printed Title

## Energy Provider Agreement

OLee \_\_\_\_\_ County Department of Social Services

The Lee \_\_\_\_\_ County Department of Social Services and the undersigned Energy Provider hereby enter into this Energy Provider Agreement to facilitate payment by the County Department to the Energy Provider of certain energy costs of eligible households and agree as follows:

The Energy Provider agrees to participate during the entire course of the 12-month period of (date) 07/01/2019 \_\_\_\_\_ to (date) 06/30/2020 \_\_\_\_\_, unless this Agreement is terminated sooner as provided for below, in the Low-Income Home Energy Assistance Program (LIHEAP), which includes, but, is not limited to, the Crisis Intervention Program (CIP) and the Low-Income Energy Assistance Program (LIEAP). The County Department agrees to pay to the Energy Provider a pledge amount for each eligible household to receive LIHEAP assistance, and the Energy Provider agrees, as conditions of participation in the LIHEAP and the receipt of payment thereunder, to the following:

### Definitions:

1. "Eligible Household" means a household whose qualifying member has applied for CIP and/or LIEAP and meets the eligibility criteria for these programs.
2. "Home Energy" shall include electricity, fuel oil, natural gas, coal, propane, wood, kerosene, or any other fuel used to heat or cool a residential dwelling.
3. "County Department" means the County Department of Social Services or Consolidated/Human Services Agency of a County (for the purposes hereof, when the County is so designated by the State, the Contractor may consider, interact, and deal with such County).
4. "Pledge Amount" means a promise to pay the costs agreed upon between the County Department and Energy Provider to alleviate the eligible household crises.

### Responsibility of the County Department of Social Services:

1. Determine household eligibility as set forth by policy.
2. Advise the Energy Provider of the name, address, account number, if any, and amount pledged to the account of each eligible household.
3. Notify the Eligible Household of the pledge amount to be made on their behalf by the County to the Energy Provider.
4. For each Eligible Household, make timely payments to the Energy Provider of the portion of the Pledge Amount for credit to that Eligible Household's account for Home Energy supplied in accordance with the terms of this Agreement.

### Responsibility of the Energy Provider:

1. To collect from the Eligible Household, in the normal billing process, the difference between the actual cost of the Home Energy and the pledge amount paid by the County Department.
2. Follow established Energy Provider policies and procedures regarding notices of termination of service, refunds, and negotiating for the paying past due accounts.
3. The Energy Provider will NOT discriminate against any Eligible Household in any manner, including in the terms and conditions of sale, credit, delivery, or price, whether in cost of goods

supplied or the service provided, due to a household's participation in CIP or LIEAP and/or any other nonfederal CIP funding.

4. Shall credit the entire amount to an Eligible Household's account immediately upon receipt of payment of the Pledge Amount, regardless of whether the payment results in a credit balance on the account.
5. The Energy Provider will not exchange an Eligible Household energy voucher for cash nor will any cash or cash equivalent be given to any person or entity other than the County Department for excess credit caused by the payment of the Pledge Amount.
6. If a Pledge Amount has been made to an account and should the qualifying member of the Eligible Household die, the credit balance may be left on the same service account for the use of the surviving members of the Eligible Household. If there is no such household member, the vendor shall return the balance to the County Department within thirty (30) days thereof.
7. Shall adhere to all requirements of Federal and State laws and regulations.

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1. The Energy Provider will maintain records documenting the amount of energy assistance that the Eligible Household received and the date of receipt for all Home Energy programs. Data collection is critical as it is needed for federal reporting requirements. Records are to be maintained for two years after the state fiscal year (SFY) ends (June 30).
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3. The Energy Provider, the State, and County Department will cooperate with any Federal, State, or local investigation, audit or program review.
4. The State Auditor shall have access to persons and records as a result of all contracts or grants (including this Agreement) entered into by State agencies or political subdivisions in accordance with General Statute 147-64.7. Additionally, as the State funding authority, the North Carolina Department of Health and Human Services shall have access to persons and records as a result of all contracts or grants (including this Agreement) entered into by State agencies or political subdivisions.

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1. Termination of this Agreement may occur by either party terminating its duties under this Agreement upon provision of thirty (30) calendar days written notice to the other.
2. This Agreement will terminate immediately should the Energy Provider supply false information or attempt to defraud the State, the County Department, or the eligible household. In such cases no additional reimbursement will be made to the Energy Provider unless and until such matters are resolved and the Energy Provider is exonerated of wrongdoing.

**Signature:**

The undersigned Energy Provider hereby agrees and warrants to the State of North Carolina and the County Department, that the undersigned will comply with the terms and conditions outlined in this Agreement to receive monies under the Low-Income Home Energy Assistance Program.

I hereby declare that I have read and understand the above and agree to comply and abide with the terms and conditions specified while participating in the program.

<u>Dominion Energy</u>	
(Print Company Name)	(Print County Director Name)
<u>Mina Lipscomb</u>	
(Signature of Company Representative)	(Signature of County Director)
<u>4-18-2019</u>	
(Date)	(Date)
<u>PO Box 935</u>	<u>PO Box 1066</u>
(Print Mailing Address)	(Print Mailing Address)
<u>Lowell, NC 28098</u>	<u>Sanford NC 27331</u>
(Print City, State, Zip Code)	(Print City, State, Zip Code)
<u>704-810-3204</u>	
(Telephone Number)	(Telephone Number)
<u>56-2128483</u>	
(Provider Federal ID Number (FEIN) or SSN)	(Primary E-mail Address)
<u>glipscomb@scana.com</u>	
(Primary E-mail Address)	

The County of Lee North Carolina

Vendor/Contractor Name Dominion Energy

**IRAN DIVESTMENT ACT CERTIFICATION  
REQUIRED BY N.C.G.S. 147-86.59**

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REQUIRED BY N.C.G.S. 143-48.5 & 147-33.95(g)**

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The undersigned hereby certifies that he/she is authorized by the entity listed above to make the foregoing statement

  
Signature

M. SHAUN RANDALL  
Printed Name

4/23/19  
Date

V.P. - GAS OPERATIONS  
Printed Title



## Energy Provider Agreement

Lee County Department of Social Services

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### Responsibility of the County Department of Social Services:

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3. Notify the Eligible Household of the pledge amount to be made on their behalf by the County to the Energy Provider.
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2. Follow established Energy Provider policies and procedures regarding notices of termination of service, refunds, and negotiating for the paying past due accounts.
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Page 1 of 3

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Economic and Family Services

supplied or the service provided, due to a household's participation in CIP or LIEAP and/or any other nonfederal CIP funding.

4. Shall credit the entire amount to an Eligible Household's account immediately upon receipt of payment of the Pledge Amount, regardless of whether the payment results in a credit balance on the account.
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**Termination of Agreement:**

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**Signature:**

The undersigned Energy Provider hereby agrees and warrants to the State of North Carolina and the County Department, that the undersigned will comply with the terms and conditions outlined in this Agreement to receive monies under the Low-Income Home Energy Assistance Program.

I hereby declare that I have read and understand the above and agree to comply and abide with the terms and conditions specified while participating in the program.

**Duke Energy Progress**

\_\_\_\_\_  
(Print Company Name)

*Charlotte Power & Light*  
\_\_\_\_\_  
(Signature of Company Representative)

*5/2/2019*  
\_\_\_\_\_  
(Date)

*P.O. Box 1771*  
\_\_\_\_\_  
(Print Mailing Address)

*Raleigh, NC 27602*  
\_\_\_\_\_  
(Print City, State, Zip Code)

*919 977-2001*  
\_\_\_\_\_  
(Telephone Number)

*56-0165465*  
\_\_\_\_\_  
(Provider Federal ID Number (FEIN) or SSN)

*DepConsumerAffairs@duke-energy.com*  
\_\_\_\_\_  
(Primary E-mail Address)

\_\_\_\_\_  
(Print County Director Name)

\_\_\_\_\_  
(Signature of County Director)

\_\_\_\_\_  
(Date)

*PO Box 1066*  
\_\_\_\_\_  
(Print Mailing Address)

*Sanford, NC 27331*  
\_\_\_\_\_  
(Print City, State, Zip Code)

\_\_\_\_\_  
(Telephone Number)

\_\_\_\_\_  
(Primary E-mail Address)

The County of Lee North Carolina

Vendor/Contractor Name: Duke Energy Progress

**IRAN DIVESTMENT ACT CERTIFICATION  
REQUIRED BY N.C.G.S. 147-86.59**

As of the date listed below, the Vendor/Contractor listed above certifies that they are not on the Iran Final Divestment List ("List") created by the North Carolina State Treasurer pursuant to N.C.G.S. 147-86.58. Contractor/Vendor shall not utilize any subcontractor that is identified on the list.

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REQUIRED BY N.C.G.S. 143-40.5 & 147-33.95(g)**

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The undersigned hereby certifies that he/she is authorized by the entity listed above to make the foregoing statement.

Cosandra Best (KB)  
Signature

Cosandra Best  
Printed Name

5/2/2019  
Date

Consumer Affairs Mgr.  
Printed Title



**ITEM #:**  
**II. E.**

# LEE COUNTY AGENDA ABSTRACT BOARD OF COMMISSIONERS MEETING

(Use the Down or Up Arrows to move between fields of the Form)

**MEETING DATE:** May 20, 2019

**SUBJECT:** Adult Daycare Contract

**DEPARTMENT:** Social Services

**CONTACT PERSON:** Angelina Noel, Director

**TYPE:**  Consent Agenda  Action Item  Public Hearing  Information

REQUEST	Approve to renew the contract with Adult Daycare Provider
BUDGET IMPACT	The FY 19-20 budget includes \$62,523 in expenditures and \$54,708 in estimated revenues. Net county cost is \$7,815. State budget estimate and county cost requirement is the same as FY 18-19.
ATTACHMENTS	Contract for Adult Daycare
PRIOR BOARD ACTION	None
RECOMMENDATION	Approve the renewal contract for Adult Daycare
<b>SUMMARY</b>	

Christian Healthcare Adult Daycare provides day care services for adults that are unable to stay alone during the day. These are individuals that would normally have to go to an Adult Care Home (rest home) if it were not for the fact that their families care for them in the evenings and on weekends. Adults attend day care during the day while their caregivers work. Lee County has been contracting with the Christian Adult Day Care since the program began in 1998. This contract stipulates in the scope of work that slots are contingent upon funding, therefore the number of fulltime slots starting the fiscal year may be higher than the final month of the year.

This program is funded with 87.5% state and federal funding and 12.5% county funding. Reimbursement is completed through the DSS 1571 process.

## Contract # 1/19-20 Fiscal Year Begins July 1, 2019 Ends June 30, 2020

This contract is hereby entered into by and between the Lee County Department of Social Services (the "County") and Christian Healthcare Adult Daycare (the "Contractor") (referred to collectively as the "Parties"). The Contractor's federal tax identification number is 56-20550272.

**1. Contract Documents:** This Contract consists of the following documents:

- (1) This contract
- (2) The General Terms and Conditions (Attachment A)
- (3) The Scope of Work, description of services, and rate (Attachment B)
- (4) Federal Certification Regarding Drug-Free Workplace & Certification Regarding Nondiscrimination (Attachment C)
- (5) Federal Certification Regarding Environmental Tobacco Smoke (Attachment F)
- (6) Federal Certification Regarding Lobbying (Attachment G)
- (7) Federal Certification Regarding Debarment (Attachment H)
- (8) Certification of Transportation (Attachment J)
- (9) *If applicable*, IRS federal tax exempt letter or 501 (c)(3) (Attachment K) <http://www.irs.gov/pub/irs-fill/k1023.pdf>
- (10) Certification of Eligibility Under the Iran Divestment Act and E-Verify Certification
- (11) Contract Determination Questionnaire (required)

These documents constitute the entire agreement between the Parties and supersede all prior oral or written statements or agreements.

**2. Precedence among Contract Documents:** In the event of a conflict between or among the terms of the Contract Documents, the terms in the Contract Document with the highest relative precedence shall prevail. The order of precedence shall be the order of documents as listed in Paragraph 1, above, with the first-listed document having the highest precedence and the last-listed document having the lowest precedence. If there are multiple Contract Amendments, the most recent amendment shall have the highest precedence and the oldest amendment shall have the lowest precedence.

**3. Effective Period:** This contract shall be effective on July 1, 2019 and shall terminate on June 30, 2020. This contract must be twelve months or less.

**4. Contractor's Duties:** The Contractor shall provide the services and in accordance with the approved rate as described in Attachment B, Scope of Work.

**5. County's Duties:** The County shall pay the Contractor in the manner and in the amounts specified in the Contract Documents. The total amount paid by the County to the Contractor under this contract shall not exceed \$ 62,523.00. This amount consists of \$ 28,622.00 in Federal funds (CFDA #93.667), \$ 26,086.00 in State Funds, \$7,815.00 in County funds

a. There are no matching requirements from the Contractor.

b. The Contractor's matching requirement is \$ \_\_\_\_\_, which shall consist of:

- |   |  |
|---|--|
| <input type="checkbox"/> In-kind          | <input type="checkbox"/> Cash                |
| <input type="checkbox"/> Cash and In-kind | <input type="checkbox"/> Cash and/or In-kind |

The contributions from the Contractor shall be sourced from non-federal funds.

The total contract amount including any Contractor match shall not exceed \$ \_\_\_\_\_.

**6. Reversion of Funds:**

Any unexpended grant funds shall revert to the County Department of Social Services/Human Services upon termination of this contract.

**7. Reporting Requirements:**

Contractor shall comply with audit requirements as described in N.C.G.S. § 143C-6-22 & 23 and OMB Circular- CFR Title 2 Grants and Agreements, Part 200, and shall disclose all information required by 42 USC 455.104. or 42 USC 455.105, or 42 USC 455.106.

**8. Payment Provisions:**

Payment shall be made in accordance with the Contract Documents as described in the Scope of Work, Attachment B.

**9. Contract Administrators:** All notices permitted or required to be given by one Party to the other and all questions about the contract from one Party to the other shall be addressed and delivered to the other Party's Contract Administrator. The name, post office address, street address, telephone number, fax number, and email address of the Parties' respective initial Contract Administrators are set out below. Either Party may change the name, post office address, street address, telephone number, fax number, or email address of its Contract Administrator by giving timely written notice to the other Party.

**For the County:**

IF DELIVERED BY US POSTAL SERVICE	IF DELIVERED BY ANY OTHER MEANS
Name & Title Angelina Noel, Director County Lee County Mailing Address PO Box 1066 City, State, Zip Sanford, NC 27330  Telephone 919-718-4690 Fax 919-718-4634 Email anoel@leecountync.gov	Name & Title Angelina Noel, Director County Lee County Street Address 530 Carthage Street City, State, Zip Sanford, NC 27330

**For the Contractor:**

IF DELIVERED BY US POSTAL SERVICE	IF DELIVERED BY ANY OTHER MEANS
Name & Title Wanda Marsh. Director Company Name Christian Healthcare Adult Daycare Mailing Address 507 North Steele Street City State Zip Sanford, NC 27330  Telephone 919-775-5610 Fax Email	Name & Title Company Name  Street Address City State Zip

**10. Supplementation of Expenditure of Public Funds:**

The Contractor assures that funds received pursuant to this contract shall be used only to supplement, not to supplant, the total amount of federal, state and local public funds that the Contractor otherwise expends for contract services and related programs. Funds received under this contract shall be used to provide additional public funding for such services; the funds shall not be used to reduce the Contractor's total expenditure of other public funds for such services.

**11. Disbursements:**

As a condition of this contract, the Contractor acknowledges and agrees to make disbursements in accordance with the following requirements:

- (a) Implement adequate internal controls over disbursements;
- (b) Pre-audit all vouchers presented for payment to determine:
  - Validity and accuracy of payment
  - Payment due date
  - Adequacy of documentation supporting payment
  - Legality of disbursement
- (c) Assure adequate control of signature stamps/plates;
- (d) Assure adequate control of negotiable instruments; and
- (e) Implement procedures to insure that account balance is solvent and reconcile the account monthly.

**12. Outsourcing to Other Countries:**

The Contractor certifies that it has identified to the County all jobs related to the contract that have been outsourced to other countries, if any. The Contractor further agrees that it will not outsource any such jobs during the term of this contract without providing notice to the County.

**13. Federal Certifications:**

Individuals and Organizations receiving federal funds must ensure compliance with certain certifications required by federal laws and regulations. The contractor is hereby complying with Certifications regarding Nondiscrimination, Drug-Free Workplace Requirements, Environmental Tobacco Smoke, Debarment, Suspension, Ineligibility and Voluntary Exclusion Lower Tier Covered Transactions, and Lobbying. These assurances and certifications are to be signed by the contractor's authorized representative.

**14. Specific Language Not Previously Addressed:**

*( can be deleted if not needed)*

**15. Signature Warranty:** The undersigned represent and warrant that they are authorized to bind their principals to the terms of this agreement.

The Contractor and the County have executed this contract in duplicate originals, with one original being retained by each party.

*Wanda Marsh* \_\_\_\_\_ Date 4-9-19  
 Signature  
*Wanda Marsh* \_\_\_\_\_ Title Program Director  
 Printed Name

**COUNTY**

\_\_\_\_\_  
 Signature *(must be legally authorized to sign contracts for County DSS)* Date  
 \_\_\_\_\_  
 Printed Name Title

This instrument has been pre-audited in the manner required by the Local Government Budget and Fiscal Control Act.

\_\_\_\_\_  
 Signature of County Finance Officer Date



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## Attachment A General Terms and Conditions

### Relationships of the Parties

**Independent Contractor:** The Contractor is and shall be deemed to be an independent contractor in the performance of this contract and as such shall be wholly responsible for the work to be performed and for the supervision of its employees. The Contractor represents that it has, or shall secure at its own expense, all personnel required in performing the services under this agreement. Such employees shall not be employees of, or have any individual contractual relationship with the County.

**Subcontracting:** The Contractor shall not subcontract any of the work contemplated under this contract without prior written approval from the County. Any approved subcontract shall be subject to all conditions of this contract. Only the subcontractors specified in the contract documents are to be considered approved upon award of the contract. The County shall not be obligated to pay for any work performed by any unapproved subcontractor. The Contractor shall be responsible for the performance of all of its subcontractors.

**Assignment:** No assignment of the Contractor's obligations or the Contractor's right to receive payment hereunder shall be permitted. However, upon written request approved by the issuing purchasing authority, the County may:

- (a) Forward the Contractor's payment check(s) directly to any person or entity designated by the Contractor, or
- (b) Include any person or entity designated by Contractor as a joint payee on the Contractor's payment check(s).

In no event shall such approval and action obligate the County to anyone other than the Contractor and the Contractor shall remain responsible for fulfillment of all contract obligations.

**Beneficiaries:** Except as herein specifically provided otherwise, this contract shall inure to the benefit of and be binding upon the parties hereto and their respective successors. It is expressly understood and agreed that the enforcement of the terms and conditions of this contract, and all rights of action relating to such enforcement, shall be strictly reserved to the County and the named Contractor. Nothing contained in this document shall give or allow any claim or right of action whatsoever by any other third person. It is the express intention of the County and Contractor that any such person or entity, other than the County or the Contractor, receiving services or benefits under this contract shall be deemed an incidental beneficiary only.

### Indemnity and Insurance

**Indemnification:** The Contractor agrees to indemnify and hold harmless the County and any of their officers, agents and employees, from any claims of third parties arising out of or any act or omission of the Contractor in connection with the performance of this contract.

**Insurance:** During the term of the contract, the Contractor at its sole cost and expense shall provide commercial insurance of such type and with such terms and limits as may be reasonably associated with the contract. As a minimum, the Contractor shall provide and maintain the following coverage and limits:

- (a) **Worker's Compensation** - The contractor shall provide and maintain Worker's Compensation Insurance as required by the laws of North Carolina, as well as employer's liability coverage with minimum limits of \$500,000.00, covering all of Contractor's employees who are engaged in any work under the contract. If any work is sublet, the Contractor shall require the subcontractor to provide the same coverage for any of his employees engaged in any work under the contract.
- (b) **Commercial General Liability - General Liability Coverage** on a Comprehensive Broad Form on an occurrence basis in the minimum amount of \$1,000,000.00 Combined Single Limit. (Defense cost shall be in excess of the limit of liability.)
- (c) **Automobile Liability Insurance.** The Contractor shall provide automobile liability insurance with a combined single limit of \$500,000.00 for bodily injury and property damage; a limit of \$500,000.00 for uninsured/under insured motorist coverage; and a limit of \$2,000.00 for medical payment coverage. The Contractor shall provide this insurance for all automobiles that are:
  - (a) owned by the Contractor and used in the performance of this contract;
  - (b) hired by the Contractor and used in the performance of this contract; and
  - (c) Owned by Contractor's employees and used in performance of this contract ("non-owned vehicle insurance"). Non-owned vehicle insurance protects employers when employees use their personal vehicles for work purposes. Non-owned vehicle insurance supplements, but does not replace, the car-owner's liability insurance.

The Contractor is not required to provide and maintain automobile liability insurance on any vehicle -- owned, hired, or non-

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owned – unless the vehicle is used in the performance of this contract.

- (d) The insurance coverage minimums specified in subparagraph (a) are exclusive of defense costs.
- (e) The Contractor understands and agrees that the insurance coverage minimums specified in subparagraph (a) are not limits, or caps, on the Contractor's liability or obligations under this contract.
- (f) The Contractor may obtain a waiver of any one or more of the requirements in subparagraph (a) by demonstrating that it has insurance that provides protection that is equal to or greater than the coverage and limits specified in subparagraph (a). The County shall be the sole judge of whether such a waiver should be granted.
- (g) The Contractor may obtain a waiver of any one or more of the requirements in paragraph (a) by demonstrating that it is self-insured and that its self-insurance provides protection that is equal to or greater than the coverage and limits specified in subparagraph (a). The County shall be the sole judge of whether such a waiver should be granted.
- (h) Providing and maintaining the types and amounts of insurance or self-insurance specified in this paragraph is a material obligation of the Contractor and is of the essence of this contract.
  - (i) The Contractor shall only obtain insurance from companies that are authorized to provide such coverage and that are authorized by the Commissioner of Insurance to do business in the State of North Carolina. All such insurance shall meet all laws of the State of North Carolina.
  - (j) The Contractor shall comply at all times with all lawful terms and conditions of its insurance policies and all lawful requirements of its insurer.
  - (k) The Contractor shall require its subcontractors to comply with the requirements of this paragraph.
  - (l) The Contractor shall demonstrate its compliance with the requirements of this paragraph by submitting certificates of insurance to the County before the Contractor begins work under this contract.

#### Transportation of Clients by Contractor:

The contractor will maintain Insurance requirements if required as noted under Article 7 Rule R2-36 of the North Carolina Utilities Commission.

### Default and Termination

**Termination Without Cause:** The County may terminate this contract without cause by giving 30 days written notice to the Contractor.

**Termination for Cause:** If, through any cause, the Contractor shall fail to fulfill its obligations under this contract in a timely and proper manner, the County shall have the right to terminate this contract by giving written notice to the Contractor and specifying the effective date thereof. In that event, all finished or unfinished deliverable

items prepared by the Contractor under this contract shall, at the option of the County, become its property and the Contractor shall be entitled to receive just and equitable compensation for any satisfactory work completed on such materials, minus any payment or compensation previously made. Notwithstanding the foregoing provision, the Contractor shall not be relieved of liability to the County for damages sustained by the County by virtue of the Contractor's breach of this agreement, and the County may withhold any payment due the Contractor for the purpose of setoff until such time as the exact amount of damages due the County from such breach can be determined. In case of default by the Contractor, without limiting any other remedies for breach available to it, the County may procure the contract services from other sources and hold the Contractor responsible for any excess cost occasioned thereby. The filing of a petition for bankruptcy by the Contractor shall be an act of default under this contract.

**Waiver of Default:** Waiver by the County of any default or breach in compliance with the terms of this contract by the Provider shall not be deemed a waiver of any subsequent default or breach and shall not be construed to be modification of the terms of this contract unless stated to be such in writing, signed by an authorized representative of the County and the Contractor and attached to the contract.

**Availability of Funds:** The parties to this contract agree and understand that the payment of the sums specified in this contract is dependent and contingent upon and subject to the appropriation, allocation, and availability of funds for this purpose to the County.

**Force Majeure:** Neither party shall be deemed to be in default of its obligations hereunder if and so long as it is prevented from performing such obligations by any act of war, hostile foreign action, nuclear explosion, riot, strikes, civil insurrection, earthquake, hurricane, tornado, or other catastrophic natural event or act of God.

**Survival of Promises:** All promises, requirements, terms, conditions, provisions, representations, guarantees, and warranties contained herein shall survive the contract expiration or termination date unless specifically provided otherwise herein, or unless superseded by applicable Federal or State statutes of limitation.

### Intellectual Property Rights

**Copyrights and Ownership of Deliverables:** All deliverable items produced pursuant to this contract are the exclusive property of the County. The Contractor shall not assert a claim of copyright or other property interest in such deliverables.

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**Federal Intellectual Property Bankruptcy Protection Act:** The Parties agree that the County shall be entitled to all rights and benefits of the Federal Intellectual Property Bankruptcy Protection Act, Public Law 100-506, codified at 11 U.S.C. 365 (n) and any amendments thereto.

#### **Compliance with Applicable Laws**

**Compliance with Laws:** The Contractor shall comply with all laws, ordinances, codes, rules, regulations, and licensing requirements that are applicable to the conduct of its business, including those of federal, state, and local agencies having jurisdiction and/or authority.

**Title VI, Civil Rights Compliance:** In accordance with Federal law and U.S. Department of Agriculture (USDA) and U.S. Department of Health and Human Services (HHS) policy, this institution is prohibited from discriminating on the basis of race, color, national origin, sex, age or disability. Under the Food Stamp Act and USDA policy, discrimination is prohibited also on the basis of religion or political beliefs.

**Equal Employment Opportunity:** The Contractor shall comply with all federal and State laws relating to equal employment opportunity.

**Health Insurance Portability and Accountability Act (HIPAA):** The Contractor agrees that, if the County determines that some or all of the activities within the scope of this contract are subject to the Health Insurance Portability and Accountability Act of 1996, P.L. 104-91, as amended ("HIPAA"), or its implementing regulations, it will comply with the HIPAA requirements and will execute such agreements and practices as the County may require to ensure compliance.

- (a) **Data Security:** The Contractor shall adopt and apply data security standards and procedures that comply with all applicable federal, state, and local laws, regulations, and rules.
- (b) **Duty to Report:** The Contractor shall report a suspected or confirmed security breach to the local Department of Social Services/Human Services Contract Administrator within twenty-four (24) hours after the breach is first discovered, provided that the Contractor shall report a breach involving Social Security Administration data or Internal Revenue Service data within one (1) hour after the breach is first discovered.
- (c) **Cost Borne by Contractor:** If any applicable federal, state, or local law, regulation, or rule requires the Contractor to give written notice of a security breach to affected persons, the Contractor shall bear the cost of the notice.

#### **Trafficking Victims Protection Act of 2000 :**

The Contractor will comply with the requirements of Section 106(g) of the Trafficking Victims Protection Act of 2000, as amended (22 U.S.C. 7104)

**Executive Order # 24:** It is unlawful for any vendor, contractor, subcontractor or supplier of the state to make gifts or to give favors to any state employee. For additional information regarding the specific requirements and exemptions, contractors are encouraged to review Executive Order 24 and G.S. Sec. 133-32.

#### **Confidentiality**

**Confidentiality:** Any information, data, instruments, documents, studies or reports given to or prepared or assembled by the Contractor under this agreement shall be kept as confidential and not divulged or made available to any individual or organization without the prior written approval of the County. The Contractor acknowledges that in receiving, storing, processing or otherwise dealing with any confidential information it will safeguard and not further disclose the information except as otherwise provided in this contract.

#### **Oversight**

**Access to Persons and Records:** The State Auditor shall have access to persons and records as a result of all contracts or grants entered into by State agencies or political subdivisions in accordance with General Statute 147-64.7. Additionally, as the State funding authority, the Department of Health and Human Services shall have access to persons and records as a result of all contracts or grants entered into by State agencies or political subdivisions.

**Record Retention:** Records shall not be destroyed, purged or disposed of without the express written consent of the Division. State basic records retention policy requires all grant records to be retained for a minimum of five years or until all audit exceptions have been resolved, whichever is longer. If the contract is subject to federal policy and regulations, record retention may be longer than five years since records must be retained for a period of three years following submission of the final Federal Financial Status Report, if applicable, or three years following the submission of a revised final Federal Financial Status Report. Also, if any litigation, claim, negotiation, audit, disallowance action, or other action involving this Contract has been started before expiration of the five-year retention period described above, the records must be retained until completion of the action and resolution of all issues which arise from it, or until the end of the regular five-year period described above, whichever is later. The record retention period for Temporary Assistance for Needy Families (TANF) and MEDICAID and Medical Assistance grants and programs must be retained for a minimum of ten years.

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### Warranties and Certifications

**Date and Time Warranty:** The Contractor warrants that the product(s) and service(s) furnished pursuant to this contract ("product" includes, without limitation, any piece of equipment, hardware, firmware, middleware, custom or commercial software, or internal components, subroutines, and interfaces therein) that perform any date and/or time data recognition function, calculation, or sequencing will support a four digit year format and will provide accurate date/time data and leap year calculations. This warranty shall survive the termination or expiration of this contract.

**Certification Regarding Collection of Taxes:** G.S. 143-59.1 bars the Secretary of Administration from entering into contracts with vendors that meet one of the conditions of G.S. 105-164.8(b) and yet refuse to collect use taxes on sales of tangible personal property to purchasers in North Carolina. The conditions include: (a) maintenance of a retail establishment or office; (b) presence of representatives in the State that solicit sales or transact business on behalf of the vendor; and (c) systematic exploitation of the market by media-assisted, media-facilitated, or media-solicited means. The Contractor certifies that it and all of its affiliates (if any) collect all required taxes.

### E-Verify

Pursuant to G.S. 143-48.5 and G.S. 147-33.95(g), the undersigned hereby certifies that the Contractor named below, and the Contractor's subcontractors, complies with the requirements of Article 2 of Chapter 64 of the NC General Statutes, including the requirement for each employer with more than 25 employees in North Carolina to verify the work authorization of its employees through the federal E-Verify system." E-Verify System Link: [www.uscis.gov](http://www.uscis.gov)

### Miscellaneous

**Choice of Law:** The validity of this contract and any of its terms or provisions, as well as the rights and duties of the parties to this contract, are governed by the laws of North Carolina. The Contractor, by signing this contract, agrees and submits, solely for matters concerning this Contract, to the exclusive jurisdiction of the courts of North Carolina and agrees, solely for such purpose, that the exclusive venue for any legal proceedings shall be the county in which the contract originated. The place of this contract and all transactions and agreements relating to it, and their situs and forum, shall be the county where the contract originated, where all matters, whether sounding in contract or tort, relating to the validity, construction, interpretation, and enforcement shall be determined.

**Amendment:** This contract may not be amended orally or by performance. Any amendment must be made in written form and executed by duly authorized representatives of the County and the Contractor.

**Severability:** In the event that a court of competent jurisdiction holds that a provision or requirement of this contract violates any applicable law, each such provision or requirement shall continue to be enforced to the extent it is not in violation of law or is not otherwise unenforceable and all other provisions and requirements of this contract shall remain in full force and effect.

**Headings:** The Section and Paragraph headings in these General Terms and Conditions are not material parts of the agreement and should not be used to construe the meaning thereof.

**Time of the Essence:** Time is of the essence in the performance of this contract.

**Key Personnel:** The Contractor shall not replace any of the key personnel assigned to the performance of this contract without the prior written approval of the County. The term "key personnel" includes any and all persons identified as such in the contract documents and any other persons subsequently identified as key personnel by the written agreement of the parties.

**Care of Property:** The Contractor agrees that it shall be responsible for the proper custody and care of any property furnished to it for use in connection with the performance of this contract and will reimburse the County for loss of, or damage to, such property. At the termination of this contract, the Contractor shall contact the County for instructions as to the disposition of such property and shall comply with these instructions.

**Travel Expenses:** Reimbursement to the Contractor for travel mileage, meals, lodging and other travel expenses incurred in the performance of this contract shall not exceed the rates established in County policy.

**Sales/Use Tax Refunds:** If eligible, the Contractor and all subcontractors shall: (a) ask the North Carolina Department of Revenue for a refund of all sales and use taxes paid by them in the performance of this contract, pursuant to G.S. 105-164.14, and (b) exclude all refundable sales and use taxes from all reportable expenditures before the expenses are entered in their reimbursement reports.

**Advertising:** The Contractor shall not use the award of this contract as a part of any news release or commercial advertising.

**ATTACHMENT B – Scope of Work      Federal Tax Id. or SSN 56-2050272  
Contract # 1/19-02**

**A. CONTRACTOR INFORMATION**

1. Contractor Agency Name: Christian Healthcare Adult Daycare
2. *If different* from Contract Administrator Information in General Contract:  
Address

Telephone Number: 919-775-5610      Fax Number:      Email:

3. Name of Program (s): Adult Daycare
4. Status:       Public       Private, Not for Profit       Private, For Profit
5. Contractor's Financial Reporting Year      January through      December

**B. Explanation of Services to be provided and to whom (include SIS Service Code):**  
Service Code 030 – One month full-time enrollment: up to 8.5 FTE  
Service Code 250 – Transportation to and from Center

**C. Rate per unit of Service (define the unit):**

1. If Standard Fixed Rate, Maximum Allowable, (See Rates for Services Chart)

\$33.07 per unit per day, one full time enrollment up to 8.5 FTE  
\$ 1.50 one way, \$3.00 per round trip, per day, per unit for transportation  
**Contingent upon funding**

2. Negotiated County Rate.

County reserves to right to negotiate per unit per day rate and transportation rate contingent upon funding.

**D. Number of units to be provided: 8.5 FTE**

**E. Details of Billing process and Time Frames; Bills are due the end of the week in which services were provided.**

**F. Area to be served/Delivery site(s): Lee County residents who meet eligibility criteria and who are authorized by Lee County Department of Social Services.**

\_\_\_\_\_  
(Signature of County Authorized Person)

\_\_\_\_\_  
(Date Submitted)

*Wanda Marsh*  
\_\_\_\_\_  
(Signature of Contractor)

*4-9-19*  
\_\_\_\_\_  
(Date Submitted)

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Christian Healthcare Adult Daycare

### ATTACHMENT C

#### CERTIFICATION REGARDING DRUG-FREE WORKPLACE REQUIREMENTS AND CERTIFICATION REGARDING NONDISCRIMINATION

Lee County Department of Social Services/Human Services

- I. By execution of this Agreement the Contractor certifies that it will provide a drug-free workplace by:
  - A. Publishing a statement notifying employees that the unlawful manufacture, distribution, dispensing, possession or use of a controlled substance is prohibited in the Contractor's workplace and specifying the actions that will be taken against employees for violation of such prohibition;
  - B. Establishing a drug-free awareness program to inform employees about:
    - (1) The dangers of drug abuse in the workplace;
    - (2) The Contractor's policy of maintaining a drug-free workplace;
    - (3) Any available drug counseling, rehabilitation, and employee assistance programs; and
    - (4) The penalties that may be imposed upon employees for drug abuse violations occurring in the workplace;
  - C. Making it a requirement that each employee be engaged in the performance of the agreement be given a copy of the statement required by paragraph (A);
  - D. Notifying the employee in the statement required by paragraph (A) that, as a condition of employment under the agreement, the employee will:
    - (1) Abide by the terms of the statement; and
    - (2) Notify the employer of any criminal drug statute conviction for a violation occurring in the workplace no later than five days after such conviction;
  - E. Notifying the County within ten days after receiving notice under subparagraph (D)(2) from an employee or otherwise receiving actual notice of such conviction;
  - F. Taking one of the following actions, within 30 days of receiving notice under subparagraph (D)(2), with respect to any employee who is so convicted:
    - (1) Taking appropriate personnel action against such an employee, up to and including termination; or
    - (2) Requiring such employee to participate satisfactorily in a drug abuse assistance or rehabilitation program approved for such purposes by a Federal, State, or local health, law enforcement, or other appropriate agency; and

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Making a good faith effort to continue to maintain a drug-free workplace through implementation of paragraphs (A), (B), (C), (D), (E), and (F).

II. The site(s) for the performance of work done in connection with the specific agreement are listed below:

1. 507 North Steele Street  
(Street address)  
  
Sanford, NC 27330  
(City, county, state, zip code)

2.  
  
(Street address)  
  
(City, county, state, zip code)

Contractor will inform the County of any additional sites for performance of work under this agreement.

False certification or violation of the certification shall be grounds for suspension of payment, suspension or termination of grants, or government-wide Federal suspension or debarment **45 C.F.R. Section 82.510. Section 4 CFR Part 85, Section 85.615 and 86.620.**

#### **Certification Regarding Nondiscrimination**

**The Vendor certifies** that it will comply with all Federal statutes relating to nondiscrimination. These include but are not limited to: (a) Title VI of the Civil Rights Act of 1964 (P.L. 88-352) which prohibits discrimination on the basis of race, color or national origin; (b) Title IX of the Education Amendments of 1972, as amended (20 U.S.C. §§1681-1683, and 1685-1686), which prohibits discrimination on the basis of sex; (c) Section 504 of the Rehabilitation Act of 1973, as amended (29 U.S.C. §794), which prohibits discrimination on the basis of handicaps; (d) the Age Discrimination Act of 1975, as amended (42 U.S.C. §§6101-6107), which prohibits discrimination on the basis of age; (e) the Drug Abuse Office and Treatment Act of 1972 (P.L. 92-255), as amended, relating to nondiscrimination on the basis of drug abuse; (f) the Comprehensive Alcohol Abuse and Alcoholism Prevention, Treatment and Rehabilitation Act of 1970 (P.L. 91-616), as amended, relating to nondiscrimination on the basis of alcohol abuse or alcoholism; (g) Title VIII of the Civil Rights Act of 1968 (42 U.S.C. §§3601 et seq.), as amended, relating to nondiscrimination in the sale, rental or financing of housing; (h) the Food Stamp Act and USDA policy, which prohibit discrimination on the basis of religion and political beliefs; and (i) the requirements of any other nondiscrimination statutes which may apply to this Agreement.

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Christian Healthcare Adult Daycare

✓ Wanda Marsh                      ✓ Program Director  
Signature                                      Title

✓ Christian Healthcare Adult Daycare                      4-9-19  
Agency/Organization                                      Date

(Certification signature should be same as Contract signature.)



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**ATTACHMENT F**

**CERTIFICATION REGARDING ENVIRONMENTAL TOBACCO SMOKE**

Lee County Department of Social Services/Human Services

Certification for Contracts, Grants, Loans and Cooperative Agreements

Public Law 103-227, Part C-Environmental Tobacco Smoke, also known as the Pro-Children Act of 1994 (Act), requires that smoking not be permitted in any portion of any indoor facility owned or leased or contracted for by an entity and used routinely or regularly for the provision of health, day care, education, or library services to children under the age of 18, if the services are funded by Federal programs either directly or through State or local governments, by Federal grant, contract, loan, or loan guarantee. The law does not apply to children's services provided in private residences, facilities funded solely by Medicare or Medicaid funds, and portions of facilities used for inpatient drug or alcohol treatment. Failure to comply with the provisions of the law may result in the imposition of a civil monetary penalty of up to \$1,000 per day and/or the imposition of an administrative compliance order on the responsible entity.

By signing and submitting this application, the Contractor certifies that it will comply with the requirements of the Act. The Contractor further agrees that it will require the language of this certification be included in any subawards which contain provisions for children's services and that all subgrantees shall certify accordingly.

x Wanda Marsh x Program Director  
Signature Title

x Christian Healthcare Adult Daycare 4-9-19  
Agency/Organization Date

(Certification signature should be same as Contract signature.)

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Christian Healthcare Adult Daycare

**Attachment G**

**Lee County Department of Social Services/Human Services**

**Certification Regarding Lobbying**

Certification for Contracts, Grants, Loans and Cooperative Agreements

The undersigned certifies, to the best of his or her knowledge and belief, that:

- (1) No Federal appropriated funds have been paid or will be paid by or on behalf of the undersigned, to any person for influencing or attempting to influence an officer or employee of any Federal, state or local government agency, a Member of Congress, a Member of the General Assembly, an officer or employee of Congress, an officer or employee of the General Assembly, an employee of a Member of Congress, or an employee of a Member of the General Assembly in connection with the awarding of any Federal or state contract, the making of any Federal or state grant, the making of any Federal or state loan, the entering into of any cooperative agreement, and the extension, continuation, renewal, amendment, or modification of any Federal or state contract, grant, loan, or cooperative agreement.
- (2) If any funds other than Federal appropriated funds have been paid or will be paid to any person for influencing or attempting to influence an officer or employee of any Federal, state or local government agency, a Member of Congress, a Member of the General Assembly, an officer or employee of Congress, an officer or employee of the General Assembly, an employee of a Member of Congress, or an employee of a Member of the General Assembly in connection with the awarding of any Federal or state contract, the making of any Federal or state grant, the making of any Federal or state loan, the entering into of any cooperative agreement, and the extension, continuation, renewal, amendment, or modification of any Federal or state contract, grant, loan, or cooperative agreement, the undersigned shall complete and submit Standard Form LLL, "Disclosure Form to Report Lobbying," in accordance with its instructions.
- (3) The undersigned shall require that the language of this certification be included in the award documents for all subawards at all tiers (including subcontracts, subgrants, and contracts under grants, loans, and cooperative agreements) and that all subrecipients shall certify and disclose accordingly.
- (4) This certification is a material representation of fact upon which reliance was placed when this transaction was made or entered into. Submission of this certification is a prerequisite for making or entering into this transaction imposed by Section 1352, Title 31, U.S. Code. Any person who fails to file the required certification shall be subject to a civil penalty of not less than \$10,000 and not more than \$100,000 for each such failure.

Notwithstanding other provisions of federal OMB Circulars-CFR Title 2, Grants and Agreements, Part 200, costs associated with the following activities are unallowable:

**Paragraph A.**

- (1) Attempts to influence the outcomes of any Federal, State, or local election, referendum, initiative, or similar procedure, through in kind or cash contributions, endorsements, publicity, or similar activity;
- (2) Establishing, administering, contributing to, or paying the expenses of a political party, campaign, political action committee, or other organization established for the purpose of influencing the outcomes of elections;
- (3) Any attempt to influence: (i) The introduction of Federal or State legislation; or (ii) the enactment or modification of any pending Federal or State legislation through communication with any member or employee of the Congress or State legislature (including efforts to influence State or local officials to engage in similar lobbying activity), or with any Government official or employee in connection with a decision to sign or veto enrolled legislation;

- (4) Any attempt to influence: (i) The introduction of Federal or State legislation; or (ii) the enactment or modification of any pending Federal or State legislation by preparing, distributing or using publicity or propaganda, or by urging members of the general public or any segment thereof to contribute to or participate in any mass demonstration, march, rally, fundraising drive, lobbying campaign or letter writing or telephone campaign; or
- (5) Legislative liaison activities, including attendance at legislative sessions or committee hearings, gathering information regarding legislation, and analyzing the effect of legislation, when such activities are carried on in support of or in knowing preparation for an effort to engage in unallowable lobbying.

The following activities as enumerated in Paragraph B are excepted from the coverage of Paragraph A:  
**Paragraph B.**

- (1) Providing a technical and factual presentation of information on a topic directly related to the performance of a grant, contract or other agreement through hearing testimony, statements or letters to the Congress or a State legislature, or subdivision, member, or cognizant staff member thereof, in response to a documented request (including a Congressional Record notice requesting testimony or statements for the record at a regularly scheduled hearing) made by the recipient member, legislative body or subdivision, or a cognizant staff member thereof; provided such information is readily obtainable and can be readily put in deliverable form; and further provided that costs under this section for travel, lodging or meals are unallowable unless incurred to offer testimony at a regularly scheduled Congressional hearing pursuant to a written request for such presentation made by the Chairman or Ranking Minority Member of the Committee or Subcommittee conducting such hearing.
- (2) Any lobbying made unallowable by subparagraph A (3) to influence State legislation in order to directly reduce the cost, or to avoid material impairment of the organization's authority to perform the grant, contract, or other agreement.
- (3) Any activity specifically authorized by statute to be undertaken with funds from the grant, contract, or other agreement.

**Paragraph C.**

- (1) When an organization seeks reimbursement for indirect costs, total lobbying costs shall be separately identified in the indirect cost rate proposal, and thereafter treated as other unallowable activity costs in accordance with the procedures of subparagraph B.(3).
- (2) Organizations shall submit, as part of the annual indirect cost rate proposal, a certification that the requirements and standards of this paragraph have been complied with.
- (3) Organizations shall maintain adequate records to demonstrate that the determination of costs as being allowable or unallowable pursuant to this section complies with the requirements of this Circular.
- (4) Time logs, calendars, or similar records shall not be required to be created for purposes of complying with this paragraph during any particular calendar month when: (1) the employee engages in lobbying (as defined in subparagraphs (a) and (b)) 25 percent or less of the employee's compensated hours of employment during that calendar month, and (2) within the preceding five-year period, the organization has not materially misstated allowable or unallowable costs of any nature, including legislative lobbying costs. When conditions (1) and (2) are met, organizations are not required to establish records to support the allowability of claimed costs in addition to records already required or maintained. Also, when conditions (1) and (2) are met, the absence of time logs, calendars, or similar records will not serve as a basis for disallowing costs by contesting estimates of lobbying time spent by employees during a calendar month.
- (5) Agencies shall establish procedures for resolving in advance, in consultation with OMB, any significant questions or disagreements concerning the interpretation or application of this section. Any such advance resolution shall be binding in any subsequent settlements, audits or investigations with respect to that grant or contract for purposes of interpretation of this Circular; provided, however, that this shall not be construed to prevent a contractor or grantee from contesting the lawfulness of such a determination.

**Paragraph D.**

Executive lobbying costs. Costs incurred in attempting to improperly influence either directly or indirectly, an employee or officer of the Executive Branch of the Federal Government to give consideration or to act regarding a sponsored agreement or a regulatory matter are unallowable. Improper influence means any influence that induces or tends to induce a Federal employee or officer to give consideration or to act regarding a federally sponsored agreement or regulatory matter on any basis other than the merits of the matter.

1 Wanda Maul Signature      1 Program Director Title

1 Christian Healthcare Adult Daycare Agency/Organization      4-9-19 Date

(Certification signature should be same as Contract signature.)

Contract #1/19-20  
Christian Healthcare Adult Daycare

## ATTACHMENT H

Lee County Department of Social Services/Human Services

### CERTIFICATION REGARDING DEBARMENT, SUSPENSION, INELIGIBILITY AND VOLUNTARY EXCLUSION-LOWER TIER COVERED TRANSACTIONS

#### Instructions for Certification

1. By signing and submitting this proposal, the prospective lower tier participant is providing the certification set out below.
2. The certification in this clause is a material representation of the fact upon which reliance was placed when this transaction was entered into. If it is later determined that the prospective lower tier participant knowingly rendered an erroneous certification, in addition to other remedies available to the Federal Government, the department or agency with which this transaction originated may pursue available remedies, including suspension and/or debarment.
3. The prospective lower tier participant will provide immediate written notice to the person to which the proposal is submitted if at any time the prospective lower tier participant learns that its certification was erroneous when submitted or has become erroneous by reason of changed circumstances.
4. The terms "covered transaction," "debarred," "suspended," "ineligible," "lower tier covered transaction," "participant," "person," "primary covered transaction," "principal," "proposal," and "voluntarily excluded," as used in this clause, have the meanings set out in the Definitions and Coverage sections of rules implementing Executive Order 12549. You may contact the person to which this proposal is submitted for assistance in obtaining a copy of those regulations.
5. The prospective lower tier participant agrees by submitting this proposal that, should the proposed covered transaction be entered into, it shall not knowingly enter any lower tier covered transaction with a person who is debarred, suspended, determined ineligible or voluntarily excluded from participation in this covered transaction unless authorized by the department or agency with which this transaction originated.
6. The prospective lower tier participant further agrees by submitting this proposal that it will include this clause titled "Certification Regarding Debarment, Suspension, Ineligibility and Voluntary Exclusion - Lower Tier Covered Transaction," without modification, in all lower tier covered transactions and in all solicitations for lower tier covered transactions.
7. A participant in a covered transaction may rely upon a certification of a prospective participant in a lower tier covered transaction that it is not debarred, suspended, ineligible, or voluntarily excluded from covered transaction, unless it knows that the  
(Federal Certification-Debarment)(06/2015)

Contract #1/19-20  
Christian Healthcare Adult Daycare

certification is erroneous. A participant may decide the method and frequency of which it determines the eligibility of its principals. Each participant may, but is not required to, check the Nonprocurement List.

8. Nothing contained in the foregoing shall be construed to require establishment of a system of records in order to render in good faith the certification required by this clause. The knowledge and information of a participant is not required to exceed that which is normally possessed by a prudent person in the ordinary course of business dealings.

9. Except for transactions authorized in paragraph 5 of these instructions, if a participant in a covered transaction knowingly enters into a lower tier covered transaction with a person who is suspended, debarred, ineligible, or voluntarily excluded from participation in this transaction, in addition to other remedies available to the Federal Government, the department or agency with which this transaction originated may pursue available remedies, including suspension, and/or debarment.

**Certification Regarding Debarment, Suspension, Ineligibility and Voluntary Exclusion - Lower Tier Covered Transactions**

(1) The prospective lower tier participant certifies, by submission of this proposal, that neither it nor its principals is presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from participation in this transaction by any Federal department or agency.

(2) Where the prospective lower tier participant is unable to certify to any of the statements in this certification, such prospective participant shall attach an explanation to this proposal.

Wanda Marsh                                  Program Director  
Signature    Title

Christian Healthcare Adult Daycare      4-9-19  
Agency/Organization                          Date

(Certification signature should be same as Contract signature.)

Contract #1/19-20  
Christian Healthcare Adult Daycare

**ATTACHMENT J**

**CERTIFICATION REGARDING TRANSPORTATION**

Lee County Department of Social Services/Human Services

By execution of this Agreement the Contractor certifies that it will provide safe client transportation by:

1. Insuring that all drivers (including employees, contractors, contractor's employees, and volunteers) shall be at least 18 years of age;
2. Insuring that all drivers (including employees, contractors, contractor's employees, and volunteers) shall be licensed to operate the specific vehicle used in transporting clients in accordance with Chapter 20-7 of the General Statutes of North Carolina and the Division of Motor Vehicle requirements;
3. Insuring that all vehicles transporting clients shall have at least the minimum level of liability insurance appropriate for the type of vehicle as defined by Article 7, Rule R2-36 of the North Carolina Utilities Commission;
4. Insuring that the contractor shall have written policies and procedures regarding how drivers handle and report client emergencies and/or vehicle crashes involving clients to contractor and how contractor notifies the Lee County Department of Social Services;
5. Insuring that no more than one quarter of one percent of all trips be missed by the contractor during the course of the contract period; *(Medicaid only)*
6. Insuring that that no more than five percent (5%) of trips should be late for recipient drop off to their appointment per month; *(Medicaid only)*
7. Contractor will maintain records documenting the following *(County may require contractor to provide)*:
  - a. Valid current copies of Drivers License for all drivers;
  - b. Current valid Vehicle Registration, for all vehicles transporting clients;
  - c. Driving records for all drivers for the past three years and with annual updates;
  - d. Criminal Background checks through North Carolina Law Enforcement or NCIC prior to employment and every three years thereafter;
  - e. Alcohol and Drug Testing policy to meet the Federal Transit Authority guidelines.
8. Disclosing, at the outset of the contract, upon renewal and upon request, any criminal convictions or other reasons for disqualifications from participation in Medicare, Medicaid or Title XX programs *(signature on this form confirms this statement)*.

* <u>Wanda Marsh</u> Signature	* <u>Program Director</u> Title
* <u>Christian Healthcare Adult Daycare</u> Agency/Organization	<u>4-9-19</u> Date

(Certification signature should be same as Contract signature.)

## ATTACHMENT K

### **What is a Private Non Profit Agency?**

**Answer:** A private non profit is an organization that is incorporated under State law and whose purpose is not to make a profit, but rather to further a charitable, civic, religious, scientific, or other lawful purpose. The Secretary of State's office grants corporate status to organizations in North Carolina.

### **What is a 501(c)(3) designation?**

**Answer:** When the agency becomes a state private non profit corporation, it can then apply for 501(c)(3) designation through the IRS. Once the IRS grants 501(c)(3) status, the organization is exempt from certain taxes and any donations to the charitable organization are tax deductible. Many individuals and organizations prefer to make donations to 501(c)(3) private non profits.

### **Who can obtain a 501(c)(3) designation?**

**Answer:** Any organization or group can apply for 501(c)(3) status, provided their charter or mission focuses on the non profit's objective.

Another option is to apply for a 509(a)(1) status which falls under the 501(c)(3) umbrella. Being a 509(a)(1) designates an organization as a tax-free public charity that receives most of its support from a governmental unit or from the general public. Becoming a 509(a)(1) provides public recognition of tax-exempt status, advance assurance to donors of deductibility of contributions, exemption from certain State and federal taxes, and non profit mailing privileges. Organizations that typically qualify are churches, educational institutions, hospitals, and governmental units.

### **How does a Private Non Profit obtain Tax Exempt Status?**

**EO Web Site [ [www.irs.gov/eo](http://www.irs.gov/eo) ]**

#### **IRS TE/GE Customer Service**

You may direct technical and procedural questions concerning charities and other nonprofit organizations, including questions about your tax-exempt status and tax liability, to the IRS Tax Exempt and Government Entities Customer Account Services at (877) 829-5500 (toll-free number).

If you prefer to write, you may write at:

Internal Revenue Service  
Exempt Organizations Determinations  
P.O. Box 2508  
Cincinnati, OH 45201

You may also contact the Taxpayer Advocate Service, an independent organization within the IRS that helps taxpayers resolve problems with the IRS and recommends changes that will prevent problems.

A private non profit must apply to the IRS for tax exempt status. To qualify, applicants must complete and submit to the IRS Form 1023. Once federal tax exempt status is granted, the private non profit applies for State tax exempt status by completing Form CD-435 and submitting it to the N. C. Department of Revenue.

### **What must a County Department of Social Services/Human Services do?**

**Answer:** Verify the Tax Exempt Letter. Check date for expiration and check if current address of agency is reflected.



The County of Lee North Carolina

Vendor/Contractor Name: x Christian Healthcare Adult Daycare  
x Wanda Marsh

**IRAN DIVESTMENT ACT CERTIFICATION  
REQUIRED BY N.C.G.S. 147-86.59**

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As of the date listed below, the Vendor/Contractor listed above certifies that they are not on the Iran Final Divestment List ("List") created by the North Carolina State Treasurer pursuant to N.C.G.S. 147-86.58. Contractor/Vendor shall not utilize any subcontractor that is identified on the list.

**E-VERIFY CERTIFICATION  
REQUIRED BY N.C.G.S. 143-48.5 & 147-33.95(g)**

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As of the date listed below, the Vendor/Contractor listed above and all Vendor/Contractor's subcontractors certify that they are in compliance with the requirements of Article 2 of Chapter 64 of the North Carolina General Statutes, including the requirement for each employer with more than 25 employees in North Carolina to verify the work authorization of its employees through the federal E-Verify system.

The undersigned hereby certifies that he/she is authorized by the entity listed above to make the foregoing statement.

x Wanda Marsh  
Signature

x Wanda Marsh  
Printed Name

x 4-9-19  
Date

x Program Director  
Printed Title



**ITEM #:**  
**II. F.**

# LEE COUNTY AGENDA ABSTRACT BOARD OF COMMISSIONERS MEETING

(Use the Down or Up Arrows to move between fields of the Form)

**MEETING DATE:** May 20, 2019

**SUBJECT:** Additional State Revenue for Family Planning.

**DEPARTMENT:** Health Department

**CONTACT PERSON:** Heath Cain

**TYPE:**  Consent Agenda     Action Item     Public Hearing     Information

REQUEST	This is a request to the County Commissioners to approve additional funding to the health department's Family Planning Program in the amount of \$5,005.
BUDGET IMPACT	Increase in FY 18-19 budget of \$5,005. No county match
ATTACHMENTS	(1); Copy of the 151 – Family Planning Agreement Addenda Rev. #1
PRIOR BOARD ACTION	None
RECOMMENDATION	The health department respectfully requests the County Commissioners to approve this request.
<b>SUMMARY</b>	

The funding reduction under the FY 17-18 Agreement Addenda for Activity 151 – Family Planning has now been restored under the FY 18-19 Agreement Addenda Rev. #1 for 151 – Family Planning. These additional funds could pay for Long Acting Contraceptives (LARCS) for our Family Planning Clients.

This request is contingent upon the Board of Health approval May 15<sup>th</sup>, 2019.

# Division of Public Health Agreement Addendum FY 18-19

Page 1 of 3

Lee County Health Department  
**Local Health Department Legal Name**

151 Family Planning  
**Activity Number and Description**

06/01/2018 – 05/31/2019  
**Service Period**

07/01/2018 – 06/30/2019  
**Payment Period**

Women's and Children's Health Section /  
Women's Health Branch  
**DPH Section / Branch Name**

Joseph Scott, 919-707-5696  
Joseph.Scott@dhhs.nc.gov  
**DPH Program Contact**  
(name, phone number, and email)

\_\_\_\_\_  
**DPH Program Signature** **Date**  
(only required for a negotiable agreement addendum)

- Original Agreement Addendum  
 Agreement Addendum Revision # 1

**I. Background:**

*As of April 1, 2019, this Agreement Addendum Revision #2 adds the following paragraphs:*

In 2017, North Carolina Session Law 2017-57, Senate Bill 257, appropriated a significant portion of the Maternal and Child Health Block Grant (Title V funds) to special projects, which created a lack of funds for the FY 17-18 Agreement Addenda which were funded by the Maternal and Child Health Block Grant. This action reduced the funding for the Healthy Mothers Health Children Program by a total of approximately \$2.2 million across three programs for Fiscal Year 2017-2018: the Maternal Health Program (Activity 101), the Family Planning Program (Activity 151), and the Child Health Program (Activity 351).

The funding reduction under the FY 17-18 Agreement Addenda for Activities 101, 151, and 351 has now been restored under the FY 18-19 Agreement Addenda for Activities 101, 151, and 351.

**II. Purpose:**

The Healthy Mothers Health Children Program is increasing the funding by a total of approximately \$2.2 million across three programs: the Maternal Health Program (Activity 101), the Family Planning Program (Activity 151), and the Child Health Program (Activity 351). These additional funds will enable the local health departments to provide additional services based on locally determined needs and circumstances.

\_\_\_\_\_  
Health Director Signature (use blue ink)

\_\_\_\_\_  
Date

Local Health Department to complete:  
(If follow-up information is needed by DPH)

LHD program contact name: Sharon Lucas, PHN III  
Phone number with area code: 919-718-4640, ext. 5317  
Email address: slucas@leecountync.gov

Signature on this page signifies you have read and accepted all pages of this document.

**III. Scope of Work and Deliverables:**

The Local Health Department shall provide information on Attachment F stating how it will use the additional funds based on locally determined needs and circumstances.

**IV. Performance Measures/Reporting Requirements:**

No change.

**V. Performance Monitoring and Quality Assurance:**

No change.

**VI. Funding Guidelines or Restrictions:**

*As of April 1, 2019, this Agreement Addendum Revision #2 adds Paragraph D, as follows:*

- D. The attached Budgetary Estimate for FY 18-19 reflects the restoration commensurate with the original reduction in FY 17-18. This funding increase affects the payment period April 1, 2019 through May 31, 2019.

Attachment F

**Statement of Use for Additional Funds**

Brief Description of Use of Additional Funds:

Purchase LARCS for Family Planning Clients

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**FY19 Activity:** 151 Family Planning

Supplement reason:  In AA+BE or AA+BE Rev -OR-  -

CFDA #: 93.994 Federal awd date: 11/7/17 Is award R&D? no FAIN: B04MC31506 Total amount of fed awd: \$ 3,229,426

CFDA Maternal and Children Health Services Block Grant project description: Maternal and Child Health Block Grant to the States  
Fed awarding agency: DHHS, Health Resources and Services Administration Federal award indirect cost rate: n/a

Subrecipient	Subrecipient DUNS	Fed funds for this Supplement	Total All fed funds for this Activity	Subrecipient	Subrecipient DUNS	Fed funds for this Supplement	Total All fed funds for this Activity
Alamance	965194483	5,814	95,502	Jackson	019728518	15,450	60,121
Albemarle	130537822	11,574	241,170	Johnston	097599104	4,943	79,549
Alexander	030495105	2,329	36,469	Jones	095116935	0	23,390
Anson	847163029	6,386	42,205	Lee	067439703	5,005	49,365
Appalachian	780131541	0	93,876	Lenoir	042789748	0	59,161
Beaufort	091567776	5,504	49,372	Lincoln	086869336	539	40,740
Bladen	084171628	0	38,044	Macon	070626825	0	28,228
Brunswick	091571349	8,250	63,332	Madison	831052873	3,245	30,648
Buncombe	879203560	19,554	109,152	MTW	087204173	26,388	115,551
Burke	883321205	12,664	68,676	Mecklenburg	074498353	81,352	458,525
Cabarrus	143408289	7,110	82,095	Montgomery	025384603	0	31,047
Caldwell	948113402	10,389	66,903	Moore	050988146	18,444	72,434
Carteret	058735804	0	95,005	Nash	050425677	6,930	80,412
Caswell	077846053	0	29,859	New Hanover	040029563	9,018	83,828
Catawba	083677138	13,124	91,694	Northampton	097594477	16,091	48,735
Chatham	131356607	4,937	45,070	Onslow	172663270	17,593	129,206
Cherokee	130705072	0	27,236	Orange	139209659	20,905	100,099
Clay	145058231	5,447	25,914	Pamlico	097600456	10,282	34,274
Cleveland	879924850	8,727	81,677	Pender	100955413	0	42,306
Columbus	040040016	0	44,893	Person	091563718	3,214	42,256
Craven	091564294	19,307	99,793	Pitt	080889694	17,500	128,537
Cumberland	123914376	25,295	220,087	Randolph	027873132	15,996	94,532
Dare	082358631	1,719	28,713	Richmond	070621339	1,000	45,651
Davidson	077839744	4,000	79,278	Robeson	082367871	0	113,554
Davie	076526651	5,073	36,309	Rockingham	077847143	12,462	70,709
Duplin	095124798	0	55,346	Rowan	074494014	11,273	95,557
Durham	088564075	0	115,971	RPM	782359004	11,453	121,645
Edgecombe	093125375	25,741	94,366	Sampson	825573975	7,856	58,841
Forsyth	105316439	0	121,307	Scotland	091564146	5,763	50,202
Franklin	084168632	4,262	45,701	Stanly	131060829	0	41,096
Gaston	071062186	3,000	128,854	Stokes	085442705	9,558	47,417
Graham	020952383	0	20,745	Surry	077821858	0	41,937
Granville-Vance	063347626	0	83,380	Swain	146437553	0	27,839
Greene	091564591	6,740	38,910	Toe River	113345201	0	75,590
Guilford	071563613	63,356	257,958	Transylvania	030494215	7,804	36,562
Halifax	014305957	0	66,844	Union	079051637	5,072	80,927
Harnett	091565986	0	66,056	Wake	019625961	37,381	299,001
Haywood	070620232	19,733	60,099	Warren	030239953	0	31,739
Henderson	085021470	0	49,123	Wayne	040036170	0	87,406
Hertford	627320971	0	0	Wilkes	067439950	8,099	50,027
Hoke	091563643	0	43,561	Wilson	075585695	9,888	78,522
Hyde	832526243	8,085	29,206	Yadkin	089910624	2,240	32,080
Iredell	074504507	0	76,343				

*BRENDA*

DPH-Aid-To-Counties

For Fiscal Year: 18/19

Budgetary Estimate Number : 4

Activity 181	AA	13A1 5151 T2	13A1 5735 00	13A1 5735 AP	13A1 5735 AP	13A1 5735 AP	13A1 5735 AR	13A1 592A FP	13A1 592C FP	13A1 592D FP	13A1 6019 FR	Proposed Total	New Total
Service Period		06/01-05/31	06/01-05/31	02/01-05/31	10/01-05/31	06/01-05/31	06/01-05/31	09/01-03/31	08/01-06/30	07/01-08/31	06/01-05/31		
Payment Period		07/01-06/30	07/01-06/30	03/01-06/30	11/01-06/30	07/01-06/30	07/01-06/30	10/01-04/30	07/01-07/31	08/01-09/30	07/01-06/30		
01 Alamance	* 2	0	0	0	0	0	5,814	0	0	0	0	5,814	143,600
01 Albemarle	* 2	0	0	0	0	0	11,574	0	0	0	0	11,574	466,828
02 Alexander	* 1	0	0	0	0	0	2,329	0	0	0	0	2,329	77,328
04 Anson	* 2	0	0	0	0	0	6,386	0	0	0	0	6,386	80,616
D2 Appalachian		0	0	0	0	0	0	0	0	0	0	0	175,611
07 Beaufort	* 2	0	0	0	0	0	5,504	0	0	0	0	5,504	106,316
09 Bladen		0	0	0	0	0	0	0	0	0	0	0	72,520
10 Brunswick	* 1	0	0	0	0	0	8,250	0	0	0	0	8,250	115,071
11 Buncombe	* 2	0	0	0	0	0	19,554	0	0	0	0	19,554	221,749
12 Burke	* 2	0	0	0	0	0	12,664	0	0	0	0	12,664	118,216
13 Cabarrus	* 2	0	0	0	0	0	7,110	0	0	0	0	7,110	117,965
14 Caldwell	* 2	0	0	0	0	0	10,389	0	0	0	0	10,389	124,764
16 Carteret		0	0	0	0	0	0	0	0	0	0	0	119,014
17 Caswell		0	0	0	0	0	0	0	0	0	0	0	68,667
18 Catawba	* 1	0	0	0	0	0	13,124	0	0	0	0	13,124	106,356
19 Chatham	* 2	0	0	0	0	0	4,937	0	0	0	0	4,937	78,142
20 Cherokee		0	0	0	0	0	0	0	0	0	0	0	58,728
22 Clay	* 2	0	0	0	0	0	5,447	0	0	0	0	5,447	41,527
23 Cleveland	* 2	0	0	0	0	0	8,727	0	0	0	0	8,727	148,865
24 Columbus		0	0	0	0	0	0	0	0	0	0	0	63,228
25 Craven	* 2	0	0	0	0	0	19,307	0	0	0	0	19,307	190,387
26 Cumberland	* 2	0	0	0	0	0	25,295	0	0	0	0	25,295	378,993
28 Dare	* 2	0	0	0	0	0	1,719	0	0	0	0	1,719	43,099
29 Davidson	* 2	0	0	0	0	0	4,000	0	0	0	0	4,000	124,772
30 Davie	* 1	0	0	0	0	0	5,073	0	0	0	0	5,073	68,480
31 Duplin		0	0	0	0	0	0	0	0	0	0	0	107,825
32 Durham		0	0	0	0	0	0	0	0	0	0	0	211,157
33 Edgecombe	* 1	0	0	0	0	0	25,741	0	0	0	0	25,741	177,671
34 Forsyth		0	0	0	0	0	0	0	0	0	0	0	219,364
35 Franklin	* 1	0	0	0	0	0	4,262	0	0	0	0	4,262	84,469
36 Gaston	* 2	0	0	0	0	0	3,000	0	0	0	0	3,000	172,678
38 Graham		0	0	0	0	0	0	0	0	0	0	0	36,339
D3 Gran-Vance		0	0	0	0	0	0	0	0	0	0	0	153,393
40 Greene	* 1	0	0	0	0	0	6,740	0	0	0	0	6,740	80,406
41 Guilford	* 2	0	0	0	0	0	63,356	0	0	0	0	63,356	398,638
42 Halifax		0	0	0	0	0	0	0	0	0	0	0	183,938
43 Harnett		0	0	0	0	0	0	0	0	0	0	0	108,607
44 Haywood	* 2	0	0	0	0	0	19,733	0	0	0	0	19,733	95,922
45 Henderson		0	0	0	0	0	0	0	0	0	0	0	84,002
46 Hertford		0	0	0	0	0	0	0	0	0	0	0	0
47 Hoke		0	0	0	0	0	0	0	0	0	0	0	74,956
48 Hyde	* 2	0	0	0	0	0	8,085	0	0	0	0	8,085	50,081
49 Iredell		0	0	0	0	0	0	0	0	0	0	0	150,443
50 Jackson	* 2	0	0	0	0	0	15,450	0	0	0	0	15,450	145,721
51 Johnston	* 2	0	0	0	0	0	4,943	0	0	0	0	4,943	118,266
52 Jones		0	0	0	0	0	0	0	0	0	0	0	54,358
53 Lee	* 1	0	0	0	0	0	5,005	0	0	0	0	5,005	91,277
54 Lenoir		0	0	0	0	0	0	0	0	0	0	0	155,277
55 Lincoln	* 2	0	0	0	0	0	539	0	0	0	0	539	51,466
56 Macon		0	0	0	0	0	0	0	0	0	0	0	53,603
57 Madison	* 2	0	0	0	0	0	3,245	0	0	0	0	3,245	66,838
D4 M-T-W	* 2	0	0	0	0	0	26,388	0	0	0	0	26,388	223,988
60 Mecklenburg	* 2	0	0	0	0	0	81,352	0	0	0	0	81,352	832,150
62 Montgomery		0	0	0	0	0	0	0	0	0	0	0	45,313
63 Moore	* 2	0	0	0	0	0	18,444	0	0	0	0	18,444	145,641
64 Nash	* 2	0	0	0	0	0	6,930	0	0	0	0	6,930	159,212
65 New Hanover	* 2	0	0	0	0	0	9,018	0	0	0	0	9,018	141,379
66 Northampton	* 1	0	0	0	0	0	16,091	0	0	0	0	16,091	85,886
67 Onslow	* 2	0	0	0	0	0	17,593	0	0	0	0	17,593	286,678
68 Orange	* 2	0	0	0	0	0	20,905	0	0	0	0	20,905	164,828

69 Pamlico	* 2	0	0	0	0	0	0	10,282	0	0	0	0	10,282	62,956
71 Pender		0	0	0	0	0	0	0	0	0	0	0	0	102,570
73 Person	* 2	0	0	0	0	0	0	3,214	0	0	0	0	3,214	98,231
74 Pitt	* 2	0	0	0	0	0	0	17,500	0	0	0	0	17,500	194,819
76 Randolph	* 2	0	0	0	0	0	0	15,996	0	0	0	0	15,996	189,435
77 Richmond	* 2	0	0	0	0	0	0	1,000	0	0	0	0	1,000	93,572
78 Robeson		0	0	0	0	0	0	0	0	0	0	0	0	228,829
79 Rockingham	* 1	0	0	0	0	0	0	12,462	0	0	0	0	12,462	148,089
80 Rowan	* 2	0	0	0	0	0	0	11,273	0	0	0	0	11,273	188,713
D5 R-P-M	* 2	0	0	0	0	0	0	11,453	0	0	0	0	11,453	239,989
82 Sampson	* 2	0	0	0	0	0	0	7,856	0	0	0	0	7,856	99,706
83 Scotland	* 2	0	0	0	0	0	0	5,763	0	0	0	0	5,763	106,103
84 Stanly		0	0	0	0	0	0	0	0	0	0	0	0	72,685
85 Stokes	* 2	0	0	0	0	0	0	9,558	0	0	0	0	9,558	103,237
86 Surry		0	0	0	0	0	0	0	0	0	0	0	0	50,270
87 Swain		0	0	0	0	0	0	0	0	0	0	0	0	62,147
D6 Toe River		0	0	0	0	0	0	0	0	0	0	0	0	174,435
88 Transylvania	* 2	0	0	0	0	0	0	7,804	0	0	0	0	7,804	66,589
90 Union	* 2	0	0	0	0	0	0	5,072	0	0	0	0	5,072	133,221
92 Wake	* 1	0	0	0	0	0	0	37,381	0	0	0	0	37,381	432,522
93 Warren		0	0	0	0	0	0	0	0	0	0	0	0	84,854
96 Wayne		0	0	0	0	0	0	0	0	0	0	0	0	173,846
97 Wilkes	* 1	0	0	0	0	0	0	8,099	0	0	0	0	8,099	96,675
98 Wilson	* 2	0	0	0	0	0	0	9,888	0	0	0	0	9,888	135,422
99 Yadkin	* 2	0	0	0	0	0	0	2,240	0	0	0	0	2,240	49,694
Totals		0	0	0	0	0	0	710,864	0	0	0	0	710,864	11,891,201

Sign and Date - DPH Program Administrator <i>[Signature]</i> 3/22/19	Sign and Date - DPH Section Chief <i>[Signature]</i> 3/22/19
Sign and Date - DPH Contracts Officer <i>[Signature]</i> 3/20/19	Sign and Date - DPH Budget Officer <i>[Signature]</i> 3/27/19

*[Signature]* 3-27-19





## LEE COUNTY AGENDA ABSTRACT BOARD OF COMMISSIONERS MEETING

ITEM #:  
II. G.

(Use the Down or Up Arrows to move between fields of the Form)

**MEETING DATE:** May 20, 2019

**SUBJECT:** Budget Amendment #05/20/19/16

**DEPARTMENT:** Finance

**CONTACT PERSON:** Lisa G. Minter, Assistant County Manager/Finance Director

**TYPE:**  Consent Agenda  Action Item  Public Hearing  Information

REQUEST	Approval of Budget Amendment #05/20/19/16
BUDGET IMPACT	See Below
ATTACHMENTS	Budget Amendment #05/20/19/16
PRIOR BOARD ACTION	N/A
RECOMMENDATION	Approval of Budget Amendment #05/20/19/16
SUMMARY	

The Health Department has received an additional allocation of \$5,005 to be used for family planning.

MEMO TO: LEE COUNTY BOARD OF COMMISSIONERS  
 FROM: JOHN A CRUMPTON, LEE COUNTY MANAGER  
 SUBJECT: BUDGET AMENDMENT:# 05/20/19/16  
 DATE: May 20, 2019

**SECTION I. THE FOLLOWING GENERAL FUND (1100) REVENUE INCREASES ARE HEREBY APPROVED:**

DEPARTMENT	ACCOUNT #	DESCRIPTION	CURRENT BUDGET	CHANGE	NEW BUDGET
Health	1100-3510-33370	DEHNR Family Planning	86,272	5,005	91,277
<b>TOTAL CHANGES</b>				<b>5,005</b>	

**SECTION II. THE FOLLOWING GENERAL FUND (1100) EXPENSE INCREASES ARE HEREBY APPROVED:**

DEPARTMENT	ACCOUNT #	DESCRIPTION	CURRENT BUDGET	CHANGE	NEW BUDGET
Health	1100-5107-44172	Nonprescription Drugs	37,881	5,005	42,886
<b>TOTAL CHANGES</b>				<b>5,005</b>	

AMY M. DALRYMPLE, CHAIR

WHITNEY PARRISH, DEPUTY CLERK TO THE BOARD



# LEE COUNTY AGENDA ABSTRACT BOARD OF COMMISSIONERS MEETING

ITEM #:  
II. H.

(Use the Down or Up Arrows to move between fields of the Form)

**MEETING DATE:** May 20, 2019

**SUBJECT:** LOGAN SYSTEMS 5 YR CONTRACT RENEWAL

**DEPARTMENT:** REGISTER OF DEEDS

**CONTACT PERSON:** PAMELA G. BRITT

**TYPE:**  Consent Agenda  Action Item  Public Hearing  Information

REQUEST	Approval to renew 5 year contract
BUDGET IMPACT	\$41,000.00
ATTACHMENTS	Contract, Iran Certificate, E-Verify
PRIOR BOARD ACTION	N/A
RECOMMENDATION	To approve due to long standing work relationship
SUMMARY	

Logan Systems has been the Register of Deeds software vendor for over 30 years. They supply all computers, printer and software to meet our needs. If we have computer issues, if it cannot be corrected by dialing into the system, Logan will have a technician on site in 90 minutes or less.

They handle any change made by the State or General Assembly pertaining to our daily work process automatically. Logan Systems has worked very closely with the County's IT Dept over the years.

Logan Systems is a solid, well established, family owned and run business that will be in NC for years to come. They service one third of NC counties.

The County of Lee North Carolina

Vendor/Contractor Name: Logan Systems, Inc.

**IRAN DIVESTMENT ACT CERTIFICATION  
REQUIRED BY N.C.G.S. 147-86.59**

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As of the date listed below, the Vendor/Contractor listed above certifies that they are not on the Iran Final Divestment List ("List") created by the North Carolina State Treasurer pursuant to N.C.G.S. 147-86.58. Contractor/Vendor shall not utilize any subcontractor that is identified on the list.

**E-VERIFY CERTIFICATION  
REQUIRED BY N.C.G.S. 143-48.5 & 147-33.95(g)**

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As of the date listed below, the Vendor/Contractor listed above and all Vendor/Contractor's subcontractors certify that they are in compliance with the requirements of Article 2 of Chapter 64 of the North Carolina General Statutes, including the requirement for each employer with more than 25 employees in North Carolina to verify the work authorization of its employees through the federal E-Verify system.

The undersigned hereby certifies that he/she is authorized by the entity listed above to make the foregoing statement.

  
\_\_\_\_\_  
Signature

Craig Sanders  
Printed Name

7-May-19  
Date

President  
Printed Title



**LOGAN SYSTEMS, INC.**

P.O. Box 20844 • Greensboro, NC 27420  
4003 Clifton Road • Greensboro, NC 27407  
Toll Free: 1-800-342-2208 • Fax: 336-299-9905



April 10, 2019

Hon. Pamela Britt  
Register of Deeds  
Lee County Courthouse  
1408 South Horner Blvd.  
2<sup>nd</sup> Floor  
Sanford, NC 27330

Re: Contract Renewal

Dear Ms. Britt:

Logan Systems is pleased to be sending you this renewal agreement for five years for the services that we provide to your office. Our current agreement ends on June 30, 2019. I have not removed any of the language that allows the County to terminate the contract at its convenience. Further, the contract is subject to appropriation of funding each fiscal year.

All of our prior agreements make reference to the original request for proposal ("RFP") and Logan's responses to the RFP. The RFP has been listed as an attachment to the contract for years, but we have not actually put the attachment on the contract for several years. Does the County have a copy of the RFP that they would like to use for the attachment?

I have attempted to keep the language unchanged where possible. To aid in the County's review of the agreement, I will summarize the changes I have made to the prior agreement.

- Introductory paragraph:
  - Changed the date from 2014 to 2019
- Section I Common Terms
  - Changed the dates in paragraph 1
  - Changed the dates in paragraph 10
- Section II Services Provided
  - Added language to paragraph 8 regarding Internet
  - Added paragraph 11 to reflect electronic recording
  - Added paragraph 12 regarding archival film (this service was listed in cost section before)
- Section III Cost of Services
  - I changed this completely. It used to have details of all of the different fees. It has been replaced for simplicity as a single flat monthly fee for all

day-forward services that we provide your office. I have included language that indicates Logan will no longer issue a credit for the Internet service bill paid by the County. That amount, which is approximately \$110.00, has already been removed from the cost of services.

I have enclosed two signed originals of the renewal agreement. If you have any questions about the agreement, please contact me at your convenience at our toll free number. If everything is acceptable, please return one of the signed originals to my attention for our records.

We appreciate our long term relationship with the County and look forward to providing you with excellent software and service in the coming years. If you have any questions, please contact me at the toll free number listed above at your convenience.

Sincerely,



Craig Sanders  
President

Enclosures

## PROFESSIONAL SERVICES AGREEMENT

This service agreement between Logan Systems, Inc. (“Logan Systems”) and Lee County, North Carolina (the “County”) will become effective this 1st day of July, 2019. The respective parties may execute this agreement at different times.

Pursuant to the terms outlined below, Logan Systems agrees to provide professional services to the Lee County Register of Deeds (“ROD”) for the management of the permanent records maintained by the ROD. The contract is divided into three sections. The first outlines all general terms common to the services provided to the ROD. The two remaining sections contain specific terms for the services provided and the respective costs of those services.

### I. Common Terms

1. Term of the Agreement: The term of this agreement shall be five years and shall cover the services described herein provided by Logan Systems from July 1, 2019 through June 30, 2024.
2. Services Provided: Logan Systems provides a turnkey service that includes all necessary hardware, software, training and support required to maintain the permanent records maintained by the ROD. The services to be provided are explained in greater detail below.
3. Additional Conversion Services: Certain conversion services not listed below may be provided by Logan Systems during the term of this contract. These additional services shall not be subject to this contract.
4. Training: All necessary training for both the ROD’s staff and the general public will be provided by Logan Systems at no additional charge to the County.
5. Support: Unlimited support is provided via a toll free number on business days from 8:00AM through 5:00PM. In addition, other contact numbers for support representatives have been provided for after-hours support. If the problem or question cannot be adequately answered over the telephone, then a support representative will visit the ROD’s office at no additional charge. If equipment needs to be repaired or replaced, the target for such replacement is 24 hours.
6. Consumable Supplies: The cost of consumable supplies such as paper, toner, and recording binders are not included in the charges listed below. These consumables may be purchased from Logan Systems.
7. Ownership of Hardware and Software: All hardware and software provided as part of the indexing and imaging services remains the property of Logan Systems. As such, Logan Systems remains responsible for the replacement, repair, and upgrade of such equipment.
8. Ownership of Data: All data pertaining to the ROD is the property of Lee County and the ROD. If requested, Logan Systems will provide the data to Lee County at no charge in an acceptable format on an acceptable media. Lee

County will either provide the media or reimburse Logan Systems for its media costs.

9. Changes in Technology: If technology changes require Logan Systems to change either the operating systems on which its software and hardware operate, or the type of hardware or media used in the storage of data, Logan Systems will migrate the data it manages for the ROD to the newer media at no charge to the County.
10. Authorization for Past Services: If either party signs this contract after the July 1, 2019 effective date, this contract specifically authorizes payments for all satisfactorily provided services provided between the end of the term of the current contract (June 30, 2019) and the signature dates of this contract.
11. Integration Clause; Waiver: This contract, including its attachments, represents the entire agreement between the parties. Any modification or alteration of this agreement must be done so in writing and approved by both parties. In addition, no party shall be deemed to have waived any rights pursuant to this agreement without a written document acknowledging the waiver and signed by the party against whom the waiver is asserted.
12. Assignment: Logan Systems may not assign, transfer or otherwise dispose of its obligations and benefits under this agreement with the County without the prior written consent and approval in a writing signed by an authorized representative of the County.
13. Governing Law and Forum: This contract shall be governed in accordance with the laws of the State of North Carolina.
14. Severability: The provisions of this contract are severable, and should any court of competent jurisdiction deem any provision(s) invalid, the remaining provisions will remain valid, unless such ruling will make further performance under the contract impossible or impose an unconscionable burden upon one of the parties.
15. Indemnification: Logan Systems agrees to indemnify the County in accordance with Section H (page 7) of the Request for Proposal. The Request for Proposal is attached hereto as "Exhibit A" and the referenced section is hereby incorporated by reference herein.
16. Termination for Convenience: Lee County reserves the right to terminate this agreement for convenience by providing Logan Systems with a written notice of its intent to terminate this agreement. Such written notice must be received by Logan Systems no less than thirty days prior to the proposed termination date in order to be effective. The County will pay Logan Systems for all work completed prior to the termination date. In addition, for work that is in progress at the time of termination, Lee County will allow Logan Systems to either finish such work and be paid upon completion or Lee County will reimburse Logan Systems at its current book prices for the portion of work completed and its reasonable expenses incurred in an effort to complete the work as of the date of the termination.
17. Termination for Funding: This agreement may be terminated at the end of a fiscal year by the County if adequate funding is not available for the entire agreement. To the extent that partial funding is available, the County and



Logan Systems will negotiate in good faith to continue a portion of the services authorized by this agreement.

18. **Force Majeure**: Neither party shall be liable to the other for any cost or damages if the failure to perform arises out of causes beyond the control and without the fault or negligence of the parties. The definition of force majeure will be consistent with the definition in Section J (page 10) of the Request for Proposal. The Request for Proposal is attached hereto as “Exhibit A” and the referenced section is hereby incorporated by reference herein.
19. **Application Software – Source Code**: Logan Systems agrees to escrow its source code in a manner consistent with Section H (page 13) of the Request for Proposal. Under certain circumstances, including but not limited to the bankruptcy or receivership of Logan Systems, the County shall be entitled to receive the source code from that third party escrow agent. Section H (page 13) of the Request for Proposal is incorporated into this agreement in its entirety herein. The Request for Proposal is attached hereto as “Exhibit A.”
20. **Vendor Response Codes**: Logan Systems responses to the Vendor response codes on pages 18-23 of the Request for Proposal are hereby incorporated herein by reference. The Request for Proposal is attached hereto as “Exhibit A.”
21. **Independent Contractor**: Logan Systems shall be legally considered an independent contractor and neither the contractor nor its employees shall, under any circumstances, be considered servants or agents of Lee County; and Lee County shall be at no time legally responsible for any negligence or other wrongdoing by Logan Systems, its servants, or agents. Lee County shall not withhold from the contract payments to the contractor any federal or state unemployment taxes, federal or state income taxes, Social Security tax, or any other amount for benefits to Logan Systems. Further, Lee County shall not provide to Logan Systems any insurance coverage or other benefits, including Workers’ Compensation, normally provided by Lee County for its employees.
22. **Oral Statements**: No oral statements of any person shall modify or otherwise affect the terms, conditions, or specifications stated in this contract. All modifications to the contract must be made in writing signed by an authorized representative of each party.
23. **Patents and Royalties**: Logan Systems covenants to save, defend, keep harmless, and indemnify Lee County and all its officers, departments, agencies, agents, and employees from and against all claims, loss, damage, injury, fines, penalties, and cost – including court costs and attorney’s fees, charges, liability, and exposure, however caused – for or on account of any copyright or patented or unpatented invention, process, or article manufactured or used in the performance of the contract, including its use by Lee County. If Logan Systems uses any design, devise, or materials covered by patent or copyright, it is mutually agreed and understood without exception that the contract price includes all royalties or costs arising from the use of such design, devise, or materials in any way in the work.
24. **Quality Control**: Logan Systems shall institute and maintain throughout the contract period a properly documented quality control program designed to

ensure that the services are provided at all times and in all respects in accordance with the contract.

25. Right to Audit: Logan Systems shall maintain such financial records and other records as may be prescribed by Lee County or by applicable federal and state laws, rules, and regulations. Logan Systems shall retain these records for a period of five years after final payment, or until they are audited by Lee County, whichever occurs first. These records shall be made available during the term of the contract and the subsequent five-year period for examination, transcription, and audit by Lee County, its designees, or other authorized bodies.
26. Failure to Enforce: Failure by either party at any time to enforce the provisions of the contract shall not be construed as a waiver of any such provisions. Such failure to enforce shall not affect the validity of the contract or any part thereof or the rights of the parties to enforce any provision at any time in accordance with its terms.

## II. Services Provided

1. Traditional Indexing Services: Logan Systems currently provides indexing services to the ROD's office. It is this system that allows the ROD's staff to input indexing data and print out various verification forms and statistical reports to insure the accuracy of the information. The monthly and annual merges and the corresponding paper prints will continue to be provided.<sup>1</sup> In addition, all corrections to the indexing data will continue to be reflected in paper print outs as appropriate. The ROD intends to index:
  - Land records
  - Plat book records
  - Birth records
  - Death records
  - Marriage records
  - Military discharge records
2. Automated Indexing: Logan Systems currently provides a computer retrieval system that allows for searches of the entire indexing database for land records and Financing Statements (up to June 30, 2001, when Financing Statements not effecting real estate are filed at the state level). In addition, the software allows for the retrieval of birth, death, and marriage information as well. Because of state laws regarding confidentiality of certain birth records, the software allows the ROD staff to delete certain birth records. This system will be modified in compliance with the new indexing standards.
3. Scanning of Land and Other Records: Logan Systems will provide a scanning system for land record and other data in accordance with Logan Systems' responses to the RFP.

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<sup>1</sup> Logan Systems shall continue to print a paper index as long as the County desires such index to be printed.

4. Plat Scanning and Retrieval: Logan Systems will scan all original oversized (larger than 11" x 14") plats in the ROD's office. These plats will be made available for viewing and oversized printing in the ROD's office.
5. Index and Image Retrieval: Logan Systems currently provides public retrieval units for both indexing and imaging retrieval in accordance with its responses to the Request for Proposal attached hereto as "Exhibit A."
6. Receipting: Logan Systems currently provides a receipting system to the ROD. The features of this system are a result of customization requested by the ROD.
7. Tax Office Access to ROD data: Logan Systems will provide access to the tax office of ROD data. The mechanism for this access will be decided by the County and Logan Systems.
8. Remote Access: Logan Systems currently provides remote access service to the ROD. This service is free to the public on the Internet.
9. Copy Account Software: Logan Systems will continue to provide a copy account software solution for the public retrieval units maintained by Logan Systems.
10. Marriage Form Software: Logan Systems will continue to provide software to create substitute marriage licenses. This software will also be used for indexing input of marriages.
11. Electronic Recording: Logan Systems will work with any electronic recording vendor chosen by the ROD to facilitate electronic recording of land record instruments in the ROD office. Logan Systems will make revisions to its programs to accommodate electronic recording and any reporting requested related to electronic recording.
12. Archival Film Creation: Logan Systems will create archival film for the North Carolina Archives as required by law.

### III. Cost of Services

Logan Systems and the County have revised the pricing structure for the services provided by Logan Systems to the ROD. In place of per instrument and per month fees, the parties have agreed that all services listed above will be provided for a single fee of \$3200.00 per month.

Logan Systems will no longer issue a credit equal to the cost of Internet for the office.

**[This area intentionally left blank. Signature page follows on the next page.]**

**Approved by Lee County:**

**Approved by Logan Systems, Inc.**

By: \_\_\_\_\_

By: *Craig Sanders*

Name: \_\_\_\_\_

Name: Craig Sanders

Title \_\_\_\_\_

Title: President

Date: \_\_\_\_\_

Date: April 10, 2019

[Corporate Seal]





ITEM #:  
**II. I.**

## LEE COUNTY AGENDA ABSTRACT

### BOARD OF COMMISSIONERS MEETING

(Use the Down or Up Arrows to move between fields of the Form)

**MEETING DATE:** May 20, 2019

**SUBJECT:** Award of banking services

**DEPARTMENT:** Administration

**CONTACT PERSON:** Dr. John A. Crumpton, County Manager

**TYPE:**  Consent Agenda     Action Item     Public Hearing     Information

<b>REQUEST</b>	Award banking services to local bank for the period July 1, 2019 through June 20, 2024
<b>BUDGET IMPACT</b>	Potential annual cost of \$26,588 depending on our volume.
<b>ATTACHMENTS</b>	Banking proposal analysis
<b>PRIOR BOARD ACTION</b>	N/A
<b>RECOMMENDATION</b>	Award the County's banking services to First National Bank for the period July 1, 2019 to June 30, 2024.
<b>SUMMARY</b>	

On April 1, 2019, a request for proposal for banking services for a five-year period to begin July, 2019 was mailed to the nine banks located in Lee County. Proposals were due April 24, 2019. The County received proposals from five banks. The proposals have been reviewed and analyzed by Ms. Minter, Assistant County Manager/Finance Director. Attached you will find an analysis of the bids and whether or not the banks complied with the County's request. You will see on the analysis that each bank offered a different rate for interest earning on our funds. The majority of the banks also offered the County an earnings credit option. In determining which bank to recommend, net fees/earnings were considered. First National Bank offers the lowest fees per month. However, First Bank and First National Bank both offered an earnings credit rate that would allow us to earn a credit that would cover our estimated fees each month, but this option would require that we maintain a minimum balance in our account at all times potentially limiting our investment revenue. If we forgo the earnings credit and pay the fees directly, it frees up funds and allows us to earn interest at the higher rates quoted reducing our net fees. If we choose to forgo the earnings credit at First National Bank there is a balance assessment fee that would not be charged bringing our potential net fees to \$(2,154.41) per month. The interest rates paid on the County's funds will fluctuate over the five-year period based on the market; however, the fees for the services will remain locked at their rates for the contract period. If the economy should see a drop in interest rates, First National Bank would be our best option because of the lower rates, and with the reduction in their monthly fees if we forgo the earnings credit and just earn interest our net fees will be lowest with them; therefore, it is recommended that the County award banking services to First National Bank for the five year period beginning July 1, 2019.

**BANKING SERVICES PROPOSAL COMPARISON  
CONTRACT DATE: 07-01-19**

	BOAT	Capital Bank	First Bank	First Citizens	First National Bank
Full service branch located in the County	Yes	Yes	Yes	Yes	Yes
Qualified depository for public funds	Yes	Yes	Yes	Yes	Yes
Five year contract - fixed costs	Yes	Yes	Yes	Yes	Yes
Termination clause - 90 days	Yes	Yes	Yes	Yes	Yes
Account liaison	Yes	Yes	Yes	Yes	Yes
Equal opportunity employer	Yes	Yes	Yes	Yes	Yes
GF - interest bearing	Yes - 2.0% earnings credit -N/A	Yes 1% earnings credit .6%	Yes - 1.75% earnings credit 1.45%	Yes - 2% earnings credit .5%	Yes - 1.5% earnings credit 1.25%
Funds deposited by end of business day credited for same day deposit	yes	Yes - cash - No - checks; no to validating deposits at delivery	Yes	Yes	yes
Dr/cr items forwarded next business day	yes	Yes	Yes	Yes	Yes
Present checks twice	Yes	Yes	yes	Yes	Yes
Disposable depository bags provided free	Yes	Yes	yes	Yes	Yes
Deposit only stamps provided free	Yes	Yes	yes	Yes	Yes
Deposit slips & cks free	yes	Yes	yes	Yes	Checks free for 1st 18 months or up to \$5000
Account information via web-based program	yes	Yes	yes	Yes	yes
Repetitive wire transfers out	yes	Yes	yes	Yes	yes
Account transfers	yes	Yes	yes	Yes	yes
ACH Origination	yes	Yes	yes	Yes	yes
Remote Deposit	yes	Yes	yes	Yes	yes
Cleared check images on CD-ROM	yes	Yes	yes	Yes	yes
On-line imaging of cleared checks	yes	Yes	yes	Yes	yes
Monthly detailed account analysis - sample provided	yes	Yes	yes	Yes	yes
Furnish research items within 48 hrs	yes	Yes	yes	Yes	yes
County can initiate wires / fed res confirm	yes	Yes	yes	Yes	yes
Stop payment services	yes	Yes	yes	Yes	yes
Provide direct deposit for payroll	yes	Yes	yes	Yes	yes
Furnish vault storage for comp. tapes at no cost to County	yes	Yes 10 x 10	Yes 5 x 10	Yes 10 x 10	yes
Local government references	Yes - 3	Yes - 2	Yes - 4	Yes - 3	yes-3
Provide internet banking services	yes	Yes	yes	Yes	yes
Provide procurement card system	Yes - rebate available	Yes - 1% cash rebate	Business credit cards	Yes - rebate available over certain limit	yes

**BANKING SERVICES PROPOSAL COMPARISON  
CONTRACT DATE: 07-01-19**

Process electronic file for vendor payments	Yes	Yes	yes	Yes	yes
Account reconciliation services	Yes	Yes	yes	Yes	yes
Positive Pay (standard & ACH)	Yes	Yes	yes	Yes	yes
Annual reports for last 3 years	Yes	web addresses provided	web address provided	Yes	web address provided
Financial ratio criteria provided	yes	No	yes	No	yes
Agreement samples provided	yes	Yes	yes	Continuation of existing	yes
Interest rate	N/A	.6% earnings credit	1.45% earnings credit	.5% earnings credit	1.25% earnings credit
	2.00%	1% on a savings account adjusted annually based on Fed Funds rate	1.75% choice of 2 accounts	0.20%	1.50%
					.9% on sweep account

8557	Capital Bank	First Bank	First Citizens	First National Bank
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**Compensation Options**  
Monthly fees:  
Based on summary proposal

	\$ 3,534.24	\$ 3,785.37	\$ 2,598.98	\$ 2,623.22	\$ 2,215.64
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**Cost analysis - Earnings Credit**

Total average deposits (estimated)	\$ 3,054,806.45	\$ 3,054,806.45	\$ 3,054,806.45	\$ 3,054,806.45	\$ 3,054,806.45
Less reserve requirements	(305,480.65)	-	(305,480.65)	-	(305,480.65)
Net interest earning balance	\$ 2,749,325.81	\$ 3,054,806.45	\$ 2,749,325.81	\$ 3,054,806.45	\$ 2,749,325.81
Annual est. yield (12 mo.)	0.60%	0.80%	1.45%	0.30%	1.25%
Ave. monthly earnings	\$ 1,527.40	\$ 1,527.40	\$ 3,322.10	\$ 783.70	\$ 2,863.88
Monthly direct fees	\$ 3,534.24	\$ 2,757.97	\$ (733.16)	\$ 1,850.52	\$ (540.26)
Net fees less earnings					

**Cost analysis - Interest Earnings**

Total average deposits (estimated)	\$ 3,054,806.45	\$ 3,054,806.45	\$ 3,054,806.45	\$ 3,054,806.45	\$ 3,054,806.45
Less reserve requirements	3,054,806.45	3,054,806.45	3,054,806.45	3,054,806.45	3,054,806.45
Net interest earning balance	\$ 2.02%	\$ 1.00%	\$ 1.75%	\$ 0.50%	\$ 1.50%
Annual est. yield (12 mo.)	5,142.26	2,545.67	4,454.93	1,272.84	3,918.51
Ave. monthly earnings					
Monthly direct fees	\$ (1,608.02)	\$ 1,239.70	\$ (1,865.97)	\$ 1,350.38	\$ (1,852.87)
Net fees less earnings					
Fee modification for no earnings credit					
Modified net fees less earnings	\$ (1,608.02)	\$ 1,239.70	\$ (1,865.97)	\$ 1,350.38	\$ (2,154.41)



# LEE COUNTY AGENDA ABSTRACT BOARD OF COMMISSIONERS MEETING

ITEM #:  
**III. A.**

(Use the Down or Up Arrows to move between fields of the Form)

**MEETING DATE:** May 20, 2019

**SUBJECT:** Joint Public Hearing regarding seven proposed amendments to the Unified Development Ordinance

**DEPARTMENT:** Sanford/Lee County Planning and Development

**CONTACT PERSON:** Marshall Downey, Planning Director

**TYPE:**  Consent Agenda  Action Item  Public Hearing  Information

REQUEST	Joint public hearing with the Lee County Planning Board regarding seven (7) proposed amendments to the Unified Development Ordinance (UDO) relating to Oil & Gas extraction (“fracking”) as well as traditional Mining and Quarrying.
BUDGET IMPACT	None
ATTACHMENTS	Memorandum and information from Marshall Downey, Planning Director
PRIOR BOARD ACTION	n/a
RECOMMENDATION	Conduct joint public hearing and forward to Planning Board for their consideration and recommendation.
<b>SUMMARY</b>	

These amendments are the product of a joint effort between Lee County staff, Chatham County staff and a third-party consultant, Poyner Spruill LLP, that began in January 2018. The draft amendments were first presented by the Joint Planning Commission in January 2019 and final recommendation by the JPC in April 2019 for consideration of public hearing by all three jurisdictions.





## *MEMORANDUM*

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**TO:** Lee County Board of Commissioners  
John Crumpton, County Manager  
Lee County Planning Board

**FROM:** Marshall Downey, Planning Director

**DATE:** May 20, 2019

**REF:** Public Hearing on seven (7) proposed amendments to the UDO regarding Oil and Gas extraction and traditional Mining and Quarrying

As the Board of Commissioners will recall, Lee County agreed to work with Chatham County and jointly retain the services of a third-party legal consultant to review options for land use regulations for oil and gas extraction (more commonly known as “fracking”). Lee County also directed staff to seek third-party assistance to review current rules for traditional mining and quarrying to ensure such regulations are comprehensive and up to date.

In January of 2018, work began in earnest with Mr. Glenn Dunn and his team from the firm Poyner Spruill, LLP. An overview of this work included many hours reviewing our current regulations in comparison with all applicable State laws and State rules. Additionally, in the case of mining and quarrying, a set of proposed changes as submitted by a Lee County citizen (Mr. Jerry Merritt) was also included in the review and revision process.

Staff presented the draft amendments to the Joint Planning Commission (JPC) in January of this year at the Dennis Wicker Civic Center. This was a joint meeting as all governing boards and planning boards were also invited to attend and view the presentation.

The final set of amendments was presented to the JPC in late April and the members of the Joint Planning Commission voted unanimously to move forward to public hearing with all three jurisdictions.

Attached you will find the seven (7) amendments as proposed. Staff will do a joint presentation with Mr. Dunn on the evening of May 20 to further introduce and explain these amendments.

5.20.19 public hearing Lee Co BOC

**Amendment 1. Amend Article 4. Table 4.6-1 Permitted Use Matrix**

This amendment proposes to revise our Permitted Use matrix to create two distinct land use categories – one for traditional mining and a new category for oil and gas extraction.

Our current UDO now includes three categories:

- Mining and Quarries (unincorporated Lee County and City of Sanford only)
- Mining and Quarries EXCEPT Oil and Gas Extraction (Town of Broadway only)
- Mining and Quarries, Oil and Gas Extraction (Town of Broadway only)

This section of the Use Matrix was last updated in 2015 through a set of amendments introduced in an attempt to add new regulations for oil and gas extraction. These amendments were adopted only by the Town of Broadway, resulting in the three categories. Lee County tabled the item and passed a moratorium to give it time to study the issue instead. The City of Sanford also did not adopt the 2015 amendments.

Industrial & Manufacturing Use		RA	LI	HI	SI	SI-1	SI-2	SI-3	SI-4	SI-5	SI-6	SI-7	SI-8	SI-9	SI-10	SI-11	SI-12	SI-13	SI-14	SI-15	SI-16	SI-17	SI-18	SI-19	SI-20	SI-21	SI-22	SI-23	SI-24	SI-25	SI-26	SI-27	SI-28	SI-29	SI-30		
Mining and Quarries <b>Unincorporated Lee County and City of Sanford only (see § 5.22)</b>	8000-8500	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	P/D
Mining and Quarries, EXCEPT Oil and Gas Extraction <b>Town of Broadway only (see § 5.22)</b>	8600-8800	S/D	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	S/D	P/D
Mining and Quarries, Oil and Gas Extraction <b>Town of Broadway only (see § 5.41)</b>	8800	S/D	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	S/D	P/D
Mining and Quarrying	8000-5300	Permitted only within the Mining Special Use Overlay District, see Sect. 4.16 of this Ordinance																																			
Oil and Gas Exploration, Development and Production	8100	S	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	S	S	
Gas Compressor Station	8100	S	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	S	S	

**Mining and quarrying:** Traditional mining and quarrying, as proposed, would require a two-step approval process. The first step includes a new legislative process in which an applicant would be required to apply for a “Mining Special Use Overlay District” (MSUOD). This new overlay district which can be applied only on parcels already zoned RA, LI or HI. The Special Use Permit is still required (which is how it is regulated now), but only after a legislative action by the governing board to apply the MSUOD. Note that the specifics of the MSUOD will be discussed as part of Amendment #2.

**Oil and Gas Exploration, Development and Production (all jurisdictions):** As proposed, this use would be allowed in RA, LI and HI with the issuance of a Special Use Permit.

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**Gas Compressor Station (all jurisdictions):** This category is to address off-site compressor equipment which compresses the gas to a pressure necessary to allow it to continue traveling along the pipeline to the intended recipient. As it is an off-site activity with noise potential, it is listed here as a stand-alone land use. Like oil and gas exploration, this use would be allowed in RA, LI and HI with the issuance of a Special Use Permit.

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**Amendment 2. Add a new section to Article 4, titled, “4.16 Mining Special Use Overlay District (MSUOD)”.**

**4.16.1 PURPOSE**

Mining and quarrying are industries which may play an important part in the county’s economy. Mining and quarrying are peculiar land uses in that the location of mineral, stone and other deposits will, in part, be determined only after exploration and discovery in the future. Consequently, the precise location of zoning districts wherein mining may take place cannot always be predetermined. In addition, mineral extraction involves several methods—quarrying, open-pit, drilling, tunneling, etc.—each of which would affect the surrounding environment differently. Therefore, the governing board of Lee County concludes that the fundamental purposes and procedures of zoning would be served best by adopting a Mining Special Use Overlay District, which can be applied to certain underlying districts if approved by the respective governing board, and that the Board of Adjustment should consider each location proposed to be mined to determine whether, and under what conditions or safeguards, they should authorize mining and quarrying by the issuance of a Special Use Permit.

**4.16.2 APPLICABILITY**

4.16.2.1 Establishment. The Mining Special Use Overlay Districts (MSUOD) is hereby established as a district which may be overlaid on the following underlying zoning districts to permit mining and quarrying in the MSUOD.

- RA Residential Agricultural
- LI Light Industrial
- HI Heavy Industrial

4.16.2.2 Special Use Permit Required. If a MSUOD is approved, no mining or quarrying may commence until a Special Use Permit is also approved. The Special Use Permit shall conform to the specific standards of Section 5.23 as well as the general development standards of this UDO.

4.16.2.3 Definition. For the purposes of this Ordinance, “Mining and Quarrying” shall include any operation or land activity as defined under the category Mining and Quarrying in Appendix A of this Ordinance.

**4.16.3 DEFINITIONS**

The following additional definitions apply to this Section 4.16:

“Affected land” means the surface area of land that is mined or quarried, the surface area of land associated with a mining activity so that soil is exposed to accelerated erosion, the surface area of

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land on which overburden and waste is deposited, and the surface area of land used for processing or treatment plant, stockpiles, nonpublic roads, and settling ponds.

“Land” shall include submerged lands underlying any river, stream, lake, sound, or other body of water.

“Minerals” means soil, clay, coal, stone, gravel, sand, phosphate, rock, metallic ore, and any other solid material or substance of commercial value found in natural deposits on or in the earth.

“Overburden” means the earth, rock, and other materials that lie above the natural deposit of minerals.

“Reclamation plan” shall mean that plan required by the state as part of an application for a mining permit and defined in N.C. Gen. Stat. § 74-49.

“Refuse” means all waste soil, rock, mineral, scrap, tailings, slimes, and other material directly connected with the mining, cleaning, and preparation of substances mined and shall include all waste materials deposited on or in the permit area from other sources.

“Site” means the affected land and any buffer yards.

#### 4.16.4 APPROVAL PROCEDURES

4.16.4.1 An application for a MSUOD shall be considered an Initiation of a Zoning Map Amendment and shall be processed in accordance with Sections 3.3.2 through 3.3.4 of this Ordinance.

4.16.4.2 The exterior perimeter of the proposed MSUOD may not be located within:

- One-half (1/2) mile of an existing school, library, day care facility, healthcare facility, park, and/or religious institution; or
- One thousand (1,000) feet of an existing dwelling unit (located in a residential zoning district and not located on the same property as the use).

#### 4.16.5 SPECIAL USE PERMIT

4.16.5.1 As noted in Section 4.16.2.2, a Special Use Permit is also required upon successful rezoning and application of a MSUOD. As such, application for the Special Use Permit shall be in accordance with Section 3.5 of this Ordinance.

4.16.5.2 To aid in the interpretation of the word “harmony” in Section 3.5.3.4 as applied to an application for Special Use Permit for mining and quarrying, the following guidelines may be used:

- The operation will not constitute a substantial physical hazard to a neighboring residence, school, church, hospital, commercial, or industrial building, public road, or public property;

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- The operation will not have a significantly adverse effect on the purposes of a publicly owned park, forest, or recreation area;
- The operation will not have an adverse effect on public, community, or private water supplies, surface or ground waters, including but not limited to water supply watershed areas as designated in the Watershed Protection Map of Lee County, North Carolina.

4.16.5.3 A special use approval granted by the Board of Adjustment will not become effective until a mining permit, if required by the North Carolina Department of Environmental Quality, and all other state and federal permits required for mining are issued.

4.16.5.4 If the applicant makes a material and substantial change to the Site Plan or any of the other components submitted to the Board of Adjustment, a new special use permit application shall be submitted to the Board of Adjustment.

4.16.5.5 A special use permit will automatically expire if, at any time after it is approved by the Board of Adjustment, the state mining permit is revoked or terminated and may be reactivated upon reissuance of the state mining permit unless there is a material and substantial change requiring a new special use permit application according to Section 4.16.5.4 above.

#### 4.16.5.6 APPLICATION REQUIREMENTS

4.16.5.6.1 The special use permit application shall also include two (2) copies of all other applications for federal and state permits required for mining. Such copies shall be complete and include all required supporting documentation as required for said permits.

4.16.5.6.2 The special use permit application shall include complete copies of any required land disturbing permits as required by State and Federal agencies (such as Sedimentation and Erosion Control, Wetlands, etc.). Such copies shall be complete and include all required supporting documentation as required for said permits.

4.16.5.6.3 The special use permit application shall include complete copies of NCDOT driveway permits and/or other permits related to roadway access and construction. Such copies shall be complete and include all required supporting documentation as required for said permits.

4.16.5.6.4 The special use permit application shall also include a traffic impact study by a qualified consultant that will enable the Board of Adjustment to assess the impact of the proposed land use on the highway system when that system is at or near capacity or a safety problem exists. Its purpose is to ensure that the proposed land use does not adversely affect the highway network and to identify any traffic problems associated with access from the proposed site to the existing transportation network. The study shall also identify improvements to resolve traffic problems and present solutions that may be incorporated in the Site Plan. The study shall also include information sufficient to demonstrate compliance with the Road and Traffic Standards in this section.

4.16.5.6.5 If the proposed affected land is greater than ten (10) contiguous acres, the special use permit application shall include a Phase I Environmental Site Assessment of the proposed affected

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land completed not earlier than 12 months before the special use permit application date and prepared in accordance with the American Society for Testing and Materials.

4.16.5.6.6 The special use permit application shall include a major site plan as set forth in Appendix B-5 of this Ordinance. In addition to the site plan, the application shall also include an Operations Plan that details:

- Details on how the mine will operate (where will initial excavation begin, where will overburden be placed, etc.)
- Hours of operation
- Number of employees, including details on shifts if applicable
- Details on the function of each proposed structure or piece of equipment
- Location of permanent roads (those to be used in excess of one year) and non-permanents roads

4.16.5.6.7 The special use permit application shall include a copy of the mining reclamation bond as required by NCGS 74-51 and 74-54 and as submitted to the NC Department of Environmental Quality (NCDEQ).

**4.16.6 PERMITTED USES (UNDERLYING ZONING DISTRICTS)**

A Mining Special Use Overlay District will be an overlay on an underlying zoning district required specifically for mining and quarrying. All other uses permitted in any such underlying district, whether by right or as a Special Use, shall be permitted in the MSUOD according to the procedures established for such uses.

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**Amendment 3. Revise Article 5, Section 5.23 "Mining and Quarries" as follows:**

**5.23.1 APPLICABILITY**

This section applies to any area as defined in the land use categories: *Mining and Quarrying (Unincorporated Lee County only)* and *Mining and Quarrying (City of Sanford and Town of Broadway only)* as set forth in Table 4.6-1 Permitted Use Matrix of this Ordinance. This Section 5.23 establishes additional design criteria that shall be required for Mining and Quarrying operations as defined in Appendix A of this Ordinance.

**5.23.2 STANDARDS**

5.23.2.1 Minimum lot area - five (5) acres.

5.23.2.2 Buffer Yard – In accordance with Section 7.5.4.5 of this Ordinance, complete visual separation is required along the exterior of this affected land.

5.23.2.3 The site may have one (1) ground sign at each entrance. Such sign shall not exceed fifty (50) square feet in area. If lighted, such sign may include indirect lighting or non-flashing illumination. Such sign shall be located on the same lot or parcel as the mining or quarrying operation.

5.23.2.4 Any excavated area shall be surrounded with a six (6) foot high security fence.

**5.23.3 ROAD AND TRAFFIC STANDARDS**

5.23.3.1 ACCESS. Mining and quarrying operations shall be located such that public roads which will provide access to said operations are constructed to NCDOT (or other controlling public agency) standards for the width and rated tonnage of the trucks that will be using the operation. Ingress to and egress from the site shall be along a road or driveway that intersects directly with a publicly maintained road. Traffic to and from such mining and quarrying operations may not be through a residential subdivision where the streets are primarily intended to provide access to adjacent residences.

5.23.3.2 LEVEL OF SERVICE. The additional truck traffic to the site may not cause roads providing access to the site to drop to a level of service below "D" as defined by NCDOT standards.

5.23.3.3 PERMANENT ROADS. Permanent roads, defined as those to be used in excess of one year, within the site shall be surfaced with a dust free material such as bituminous asphalt, concrete, or other similar impervious material. Roads other than permanent roads shall be treated with dust inhibitors, to be specified in the Operations Plan, which will reduce to a minimum the generation of dust from the road surfaces as a result of wind or vehicular action.

**5.23.4 NOISE LIMITATIONS.**



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**5.23.4.1 Activities, such as blasting, drilling, or crushing, may only be conducted on weekdays between the hours of 8:00 AM and 6:00 PM.**

**5.23.4.2 All other activities shall be subject to the applicable noise ordinance standards of the governmental agency having jurisdiction.**

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**Amendment 4. Delete Section 5.41 "Mining and Quarries, Oil & Gas Extraction" entirely from Article 5.**

This language was added to the UDO through a set of amendments in 2015 in an attempt to add new regulations for oil and gas extraction. These amendments were adopted only by the Town of Broadway. Lee County tabled the item and passed a moratorium instead. The City of Sanford also did not adopt these amendments. Based on review of the State Oil and Gas Conservation Act and accompanying regulations, these "supplemental" design standards should be removed. This section will simply be held in "reserve" for other land uses.

**~~5.41 MINING & QUARRIES,  
OIL & GAS EXTRACTION  
(TOWN OF BROADWAY ONLY)~~**

**~~5.41.1 APPLICABILITY~~**

~~This section applies to properties engaged in the surface extraction of subsurface petroleum, shale oil and/or natural gas. Activities include exploration for crude petroleum and natural gas, drilling, completing, and equipping wells; operation of separators, emulsion breakers, de-silting equipment, and field gathering lines; storage yards and other related mining activities. This category includes establishments that produce crude petroleum, that mine and extract oil from shale, that produce natural gas, and that recover hydrocarbon liquids from oil and gas field gases.~~

**~~5.41.2 COMPLIANCE WITH STATE REGULATIONS.~~**

~~All oil and gas extraction operations shall maintain compliance with North Carolina Administrative Code Title 15A, Subchapter 5H Oil and Gas Conservation (as amended).~~

**~~5.41.3 ADDITIONAL STANDARDS.~~**

~~5.41.3.1 Minimum well pad area is five (5) acres. Well pad shall include the area that is cleared or prepared for the drilling of one or more oil or gas wells. The minimum acreage for the well pad area shall be calculated based on total cumulative acreage assembled via ownership or lease across one or more parcels.~~

~~5.41.3.2 Such uses shall have direct access to a paved publicly maintained street with a minimum 50-foot right-of-way. Such access shall be connected via an all-weather surface constructed and maintained in accordance with Section 15A-NCAC 05H.1503 (as amended).~~

~~5.41.3.3 Where abutting residentially zoned or developed parcels, the well pad area shall be screened with a Type D screening buffer yard as set forth in Article 7.~~

~~5.41.3.4 Only one (1) ground sign per entrance to the well pad is permitted. Such sign shall not exceed fifty (50) square feet in area. If~~

~~lighted, such sign may include indirect lighting or non-flashing illumination. Such sign shall also conform to the requirements of Section 15A-NCAC 05H.1615 (as amended).~~

~~5.41.3.5 Exhaust from any internal combustion engine or compressor, stationary or mounted on wheels, used in connection with the drilling of any well or for use on any production equipment~~

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~~shall not be discharged into the open air unless equipped with an exhaust muffler, or mufflers or an exhaust muffler box constructed of noncombustible materials sufficient to suppress noise and disruptive vibrations and prevent the escape of obnoxious gases, fumes or ignited carbon or soot.~~

~~5.41.3.6 All drilling and production operations shall be conducted in such a manner as to minimize, dust, vibration, or noxious odors. All equipment used shall be constructed and operated so that vibrations, dust, odor or other harmful or annoying substances or effects are minimized by the operations carried on at any drilling or production site or from anything incident thereto to avoid injury to or annoyance of persons living in the vicinity. The site or structures shall not be permitted to become dilapidated, unsightly or unsafe.~~

~~5.41.3.7 Exterior lightning shall be designed and installed such that all lighting is directed inward to the well pad area and travel areas and creates minimum impact on surrounding properties.~~

~~**5.41.4 OIL OR GAS WELL PLUGGING AND ABANDONMENT BOND.**~~

~~5.41.4.1 When oil or gas wells are to be plugged or abandoned, the permittee (person or corporation to whom the North Carolina Department of Environment and Natural Resources has issued an oil or gas well permit) shall submit to the jurisdiction having zoning authority an oil or gas well plugging and abandonment bond in the amount of five thousand dollars (\$5,000) plus one dollar (\$1.00) per linear foot as drilled for the permitted oil or gas well.~~

~~5.41.4.2 The process for abandonment or permanent plugging of an oil or gas well shall comply with 15A North Carolina Administrative Code 05H .1618 as well as the reclamation rules as set forth in 15A North Carolina Administrative Code 05H .2100.~~

~~5.41.4.3 The permittee may request this bond to be released when final site reclamation is completed in accordance with 15A North Carolina Administrative Code 05H .2100 and for which the oil or gas well is permanently plugged and abandoned in accordance with 15A North Carolina Administrative Code 05H .1618. Determination of final site reclamation shall be under authority of the North Carolina Department of Environment and Natural Resources.~~

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**Amendment 5. Amend Appendix A "Definitions" as follows.**

**a. Revise the current definition of mining to reflect updated State definition,**

**MINING AND QUARRYING**

"Mining and Quarrying" means any of the following: (i) the breaking of the surface soil in order to facilitate or accomplish the extraction or removal of minerals, ores, or other solid matter; (ii) any activity or process constituting all or part of a process for the extraction or removal of minerals, ores, soils, and other solid matter from their original location; or (iii) the preparation, washing, cleaning, or other treatment of minerals, ores, or other solid matter so as to make them suitable for commercial, industrial, or construction use.

"Mining and Quarrying" does not include: a) Those aspects of deep mining not having significant effect on the surface, where the affected land does not exceed one acre in area.; b) Mining operations where the affected land does not exceed one acre in area; c) Plants engaged in processing minerals produced elsewhere and whose refuse does not affect more than one acre of land; d) Excavation or grading when conducted solely for on-site construction for purposes other than mining; e) Removal of overburden and mining of limited amounts of any ores or mineral solids when done only for the purpose and to the extent necessary to determine the location, quantity, or quality of any natural deposit, provided that no ores or mineral solids removed during exploratory excavation or mining are sold, processed for sale, or consumed in the regular operation of a business, and provided further that the affected land resulting from any exploratory excavation does not exceed one acre in area; f) Excavation or grading where all of the following apply:

- The excavation or grading is conducted to provide soil or other unconsolidated material to be used without further processing for a single off-site construction project for which an erosion and sedimentation control plan has been approved in accordance with Article 4 of Chapter 113A of the General Statutes.
- The affected land, including nonpublic access roads, does not exceed five acres.
- The excavation or grading is completed within one year.
- The excavation or grading does not involve blasting, the removal of material from rivers or streams, the disposal of off-site waste on the affected land, or the surface disposal of groundwater beyond the affected land.
- The excavation or grading is not in violation of any local ordinance.
- An erosion and sedimentation control plan for the excavation or grading has been approved in accordance with Article 4 of Chapter 113A of the General Statutes.

g) Excavation or grading when conducted solely for activities undertaken on agricultural land that are exempt, pursuant to G.S. 113A-52.01(1), from the requirements of Article 4 of Chapter 113A of the General Statutes; h) Oil and gas exploration and development  
(Source: The Mining Act of 1971, NCGS § 74-49)

**b. Add new definition for Oil & Gas Exploration, Development and Production**

**OIL & GAS EXPLORATION, DEVELOPMENT AND PRODUCTION**

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Defined as any activity relating to oil and gas exploration, development and/or production including horizontal drilling and hydraulic fracturing and all other operations and/or activities for the exploration for or drilling of an oil or gas well that requires entry upon surface estate and the production operations directly related to the exploration or drilling as defined and regulated by NCGS Chapter 113, Subchapter V, Oil and Gas Conservation.

**c. Add new definition for Compressor Station,**

**GAS COMPRESSOR STATION**

A facility located along a gas pipeline which compresses the gas to a pressure necessary to allow it to continue traveling along the pipeline to the intended recipient.

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**Amendment 6. Revise Article 3, Section 3.5 “Special Use Permit”**

This amendment proposes to add new language under a new subsection 3.5.4 that will allow the County to require additional study of potential impacts for certain land uses. The County may retain the services of a consultant mutually acceptable to it and the applicant to conduct a study of such impacts as related to the above criteria under 3.5.3 (Special use permit). The applicant would pay a fee as part of the special use permit application for the cost of the consulting services incurred by the County. Note that this additional study option would apply only to those land uses requiring (1) a Special Use Permit and (2) those land uses as listed within the “Industrial and Manufacturing” or “Transportation, Communications and Utilities” land use subcategories as found in the Permitted Use Matrix (§ 4.6, Table 4.6-1 of this Ordinance). Please refer to the attached copy of Table 4.6-1 to view the land uses as highlighted in yellow.

**Proposed draft amendment language**

**3.5 SPECIAL USE PERMITS**

**3.5.1 APPLICABILITY.**

*3.5.1.1 The purpose of this Section is to establish procedures and standards for the processing and approval of Special Use Permits. Special Use permits provide a form of approval for certain uses which are generally compatible with the land uses permitted by right in a zoning district, but which require individual review of their location, design, and configuration. Special Uses ensure the appropriateness of the use at a particular location within a given zoning district.*

3.5.1.2 If a Special Use Permit is required as set forth in the Permitted Use Matrix (§ 4.6, Table 4.6-1 of this Ordinance), the application shall be submitted to the Board of Adjustment.

**3.5.2 APPROVAL PROCEDURE**

3.5.2.1. No special use permit shall be authorized, developed, or otherwise carried out until the applicant has secured approval of the special use by the Board of Adjustment and approval of a final site plan by the Administrator.

3.5.2.2. Applications for special use permit approvals shall be filed with the Administrator. Pre-application meetings with the Administrator prior to filing are required.

3.5.2.3. Major site plan applications (see Appendix B) shall be filed concurrently with special use permit applications. The information shall be provided to the Board of Adjustment during their deliberations.

3.5.2.4. The Board of Adjustment shall conduct a quasi-judicial hearing in accordance with the requirements of § 3.1.7 of this Ordinance. The Board of Adjustment shall deny the request, approve the request; or approve the request with conditions.

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3.5.2.5. The Board of Adjustment may place conditions on the use as part of the approval to assure that adequate mitigation measures are associated with the use. The conditions shall become a part of the special use permit approval and shall be included in the final site plan application.

3.5.2.6. Violations of any of the conditions shall be treated in the manner as set forth in § 1.6 of this Ordinance.

3.5.2.7. An application for a special use permit that has been denied may be resubmitted only if there has been a substantial change in circumstances, as determined by the Administrator, or if substantial revisions have been made to the application for development approval (see § 3.5.6 for further restrictions on reapplication).

3.5.2.8. Minor field alterations or minor revisions to approved special uses may be approved by the Administrator if the special use still meets the intent of the standards established with the original approval. Minor alteration/revisions shall be limited to changes that do not increase the intensity, density, or character of the use. If the Administrator determines that the change is not minor, the Applicant shall apply for a revised Special Use Permit. The applicant may appeal the decision of the Administrator to the Board of Adjustment.

### **3.5.3 APPROVAL CRITERIA.**

Uses permitted subject to Special Use review shall be permitted only if the applicant demonstrates to the Board of Adjustment that:

3.5.3.1 The use will not materially endanger the public health or safety if located where proposed and developed according to the plan as submitted and approved,

3.5.3.2 The use meets all required conditions and specifications,

3.5.3.3 The use will not substantially injure the value of adjoining or abutting property, or that the use is a public necessity, and

3.5.3.4 The location and character of the use, if developed according to the plan submitted and approved, will be in harmony with the area in which it is located and in general conformity with all adopted land use plans.

3.5.3.5 The Board may impose additional conditions upon granting the Special Use Permit so long as said conditions are reasonable and appropriate.

### **3.5.4 ADDITIONAL STUDIES FOR CERTAIN LAND USES.**

3.5.4.1 Upon determining that the proposed use will have particular impacts potentially inconsistent with any of the above approval criteria, the County may retain the services of a consultant mutually acceptable to it and the applicant to conduct a study of such impacts as related to the above criteria. The applicant shall pay a fee as part of the special use permit application for the cost of the consulting services incurred

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by the County, and the report of the study results shall be submitted to and approved by the County prior to issuance of the special use permit.

3.5.4.2 This section 3.5.4 shall apply only to those land uses requiring a Special Use Permit and as listed within the "Industrial and Manufacturing" or "Transportation, Communications and Utilities" land use subcategories as found in the Permitted Use Matrix (§ 4.6, Table 4.6-1 of this Ordinance).

**3.5.5 VOTING.**

A majority of the members of the Board of Adjustment shall be required to decide on whether or not to grant a Special Use Permit. For the purposes of this subsection, vacant positions on the board and members who are disqualified from voting on a quasi-judicial matter shall not be considered members of the board for calculation of the requisite majority if there are no qualified alternates available to take the place of such members.

**3.5.6 SCOPE OF APPROVAL.**

3.5.6.1 The approval of a Special Use permit shall authorize the applicant to apply for final site plan approval pursuant to § 3.6 of this Ordinance. All approvals of Special Use permits require approval of the site plan. Any Special Use permit approval shall become null and void if a required site plan is not approved within 24 months after the date of the approval. No Zoning Clearance Permit may be issued until the final major site plan and Special Use permits are approved. Approval of a Special Use permit does not authorize any development activity.

3.5.6.2 Minor field alterations or minor revisions to approved Special Uses may be approved by the Department of Community Development if the Special Use still meets the intent of the standards established with the original approval. Minor alteration/revisions shall be limited to changes that do not increase the intensity, density, or character of the use. If the Department of Community Development determines that the change is not minor, The Applicant shall apply for a revised Special Use Permit. The applicant may appeal the decision of the Department of Community Development to the Board of Adjustment.

3.5.6.3 Violations of any of the conditions shall be treated in the manner as set forth in § 1.6 of this Ordinance.

**3.5.7 RECORDATION**

The applicant shall obtain certification of the approved Special Use Permit from the Clerk to the Board and shall record this Order in the office of the register of deeds of Lee County. The Applicant must provide the Department of Community Development a copy of the recorded notification, affixed with the Register's seal and the date, book and page number of recording in order to receive approval of the application for a zoning clearance.

**3.5.8 SUBSEQUENT APPLICATIONS**



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In the event that an application for a Special Use Permit is denied by the Board of Adjustment, the Board of Adjustment shall refuse to accept another application for the same amendment on the same property or any portion of the same property within one (1) year of the original hearing. However, the Board of Adjustment may consider such application within that time if relevant evidence that was not reasonably available at the time of the original hearing is presented.

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**Article 4**

**Table 4.6 –1 PERMITTED USE MATRIX:**

Key: "P" means permitted as of right, "S" means permitted as a special use, "D" means development regulations apply (see Article 5), "A" means permitted only as an accessory use, "-" means prohibited. Section numbers as provided in the use column (i.e. § 5.1) provide additional reference regarding the supplemental design standards as found within other sections of this Ordinance. Refer to Appendix A or the sources referred to under "Land Use Coding" for specific definitions of uses.

Use	LBCS Function		LBCS Structure														
	RA Residential Agricultural	RR Restricted Residential	R-20 Residential Single-Family	R-14 Residential Single-Family	R-12SF Residential Single-Family	R-12 Residential Mixed	R-10 Residential Mixed	R-6 Residential Mixed	MF-12 Multifamily	NC Neighborhood Commercial	HC Highway Commercial	C-1 Light Commercial & Office	C-2 General Commercial	O&I Office & Institutional	CBD Central Business District	LI Light Industrial	HI Heavy Industrial
<b>Accessory uses</b>																	
Accessory uses (see § 5.1)	1100		P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
<b>Residential Uses</b>																	
Accessory Dwellings (see § 10.4)	1100	1130	P/D	P/D	-	-	-	S/D	S/D	-	-	-	-	-	-	-	-
Building, Mixed Use - Mixed commercial and residential use where commercial use is primary on first floor, with dwellings occupancy second floors or above (no unenclosed storage) (see § 5.35)		2300	-	-	-	-	-	-	-	-	-	-	-	-	-	P/D	-
Dwelling, Duplex (two-family dwelling)	1100	1121	P	-	-	-	P	P	P	P	-	-	-	S	-	-	-
Dwelling, Manufactured home, Class A Unincorporated Lee County and Town of Broadway only (see § 10.5)	1100	1150	P/D	-	-	-	-	-	-	-	-	-	-	-	-	-	-
	See also - Class A Manuf. Home permitted by right in MH overlay districts																
Dwelling, Manufactured home, Class A City of Sanford only (see § 10.5)	1100	1150	S/D	-	-	-	-	-	-	-	-	-	-	-	-	-	-
	See also - Class A Manuf. Home permitted by right in MH overlay districts																
Dwelling, Manufactured home, Class B Unincorporated Lee County only (see § 10.5)	1100	1150	P/D	-	-	-	-	-	-	-	-	-	-	-	-	-	-
	See also - Class B Manuf. Home permitted by right in MH overlay districts																
Dwelling, Manufactured home, Class B City of Sanford and Town of Broadway only (see § 10.5)	1100	1150	S/D	-	-	-	-	-	-	-	-	-	-	-	-	-	-
	See also - Class B Manuf. Home permitted by right in MH overlay districts																
Dwelling, Manufactured home, Class C Unincorporated Lee County only (see § 10.5)	1100	1100	S/D	-	-	-	-	-	-	-	-	-	-	-	-	-	-
	See also - Class C Manuf. Home permitted as a special use in MH overlay districts																
Dwelling, Manufactured home, Class C City of Sanford and Town of Broadway only (see § 10.5)	1100	1100	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
	See also - Class C Manuf. Home not permitted in MH overlay districts																
Dwelling, Modular home	1100	1110	P	P	P	P	P	P	P	P	-	-	-	S	-	-	-
Dwelling, Multifamily (three or more units) (see § 10.3)	1100	1200	-	-	-	-	P/D	P/D	P/D	P/D	-	-	-	S/D	-	-	-
Dwelling, Single-family attached (see § 10.3)	1100	1120	-	-	-	-	P/D	P/D	P/D	P/D	P/D	-	-	S/D	-	-	-
Dwelling, Single-family detached	1100	1110	P	P	P	P	P	P	P	P	-	-	-	S	-	-	-
Home Occupations (see § 5.16)			P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D
Manufactured Home for Hardship Unincorporated Lee County only (see § 10.6)			P/D	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Manufactured Home Park (see § 4.11)	1100	1100	Manuf. Home Parks only permitted within a MH overlay district														
Rural Family Occupation Commercial/Industrial Unincorporated Lee County only (see § 5.30)			S/D	-	-	-	-	-	-	-	-	-	-	-	-	-	-

Article 4

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Use	LBCS Function	LBCS Structure	RA Residential Agricultural	RR Restricted Residential	R-20 Residential Single-Family	R-14 Residential Single-Family	R-12SF Residential Single-Family	R-12 Residential Mixed	R-10 Residential Mixed	R-6 Residential Mixed	MF-12 Multifamily	NC Neighborhood Commercial	HC Highway Commercial	C-1 Light Commercial & Office	C-2 General Commercial	O&I Office & Institutional	CBD Central Business District	LI Light Industrial	HI Heavy Industrial
Travel trailer/Recreational Vehicle/Motor home/Camper, to be used as a Temporary Residence Unincorporated Lee County and ETJ areas of Sanford and Town of Broadway (see § 5.34.2.9)			P/D	P/D	P/D														
<b>Accommodations and Group Living</b>																			
Bed and breakfast inn (see § 5.4)	1310		P/D	P/D	-	-	S/D	S/D	S/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	-
Boarding house/Room Renting	1320		-	-	-	-	S	S	S	P	P	P	P	P	P	P	P	-	-
Dormitories for the students of colleges, commercial schools, staff of hospitals	1320	1320	S	S	S	S	S	S	S	S	S	P	S	P	P	P	S	-	-
Family Care Homes (see NCGS § 168-21) (see § 5.12)	6520		P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	-	-	-	-	-	-	-	-
Group Home/Residential Care Facility, Level I	6520	-	-	-	-	-	-	-	-	S	P	P	P	P	P	-	-	-	-
Group Home/Residential Care Facility, Level II	6520	-	-	-	-	-	-	-	-	S	P	P	P	P	P	-	-	-	-
Group Home/Residential Care Facility, Level III	6520	-	-	-	-	-	-	-	-	S	S	S	S	S	S	-	-	-	-
Group Home/Residential Care Facility, Level IV	6520	-	-	-	-	-	-	-	-	S	S	S	S	S	S	-	-	-	-
Hotel, Motel, and tourist court (see § 5.17)	1330	1330	-	-	-	-	-	-	-	-	-	-	P/D	P/D	P/D	P/D	P/D	P/D	P/D
Child and Youth Services	6561		-	-	-	S	S	S	S	P	-	-	-	-	P	-	-	-	-
Nursing, Supervision, Adult Care Homes, Group Care Facilities and other rehabilitative services	6520		S	S	S	S	S	S	S	P	-	P	P	P	P	-	-	-	-
<b>General Sales or Services</b>																			
ABC Store (liquor Sales), incorporated areas only	2155		-	-	-	-	-	-	-	-	-	P	P	P	-	P	P	P	-
Administrative Services, Travel Arrangement and Reservation Services, Investigation and Security Services (locksmiths)	2420-2440		-	-	-	-	-	-	-	-	-	P	P	P	P	P	P	P	-
Agricultural equipment, sales and service	2120		-	-	-	-	-	-	-	-	-	P	-	P	-	-	P	P	-
Animal Hospitals, Veterinary services, Animal Shelters, Kennels / Animal Pet Services (see § 5.3)	2418 2720		S/D	-	-	-	-	-	-	-	-	P/D	P/D	P/D	-	-	P/D	P/D	-
Antique Shops	2145	2230	-	-	-	-	-	-	-	-	-	P	P	P	P	P	P	P	P
Appliance Sales, Repair and Maintenance, (no outside storage)	2125		-	-	-	-	-	-	-	-	-	P	P	P	-	P	P	P	-
Art dealers, supplies, sales and services	2142		-	-	-	-	-	-	-	-	P	P	P	-	P	P	P	-	-
Auction sales, general merchandise (no vehicular sales)	2140		-	-	-	-	-	-	-	-	-	P	P	P	-	P	P	P	-
Auction Sales, vehicular sales			-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P
Bakeries, retail, including manufacturing of goods for sale on the premises only	2151		-	-	-	-	-	-	-	S	P	P	P	-	P	P	P	-	-
Bicycle (non motorized) Sales and/or Repair	2113		-	-	-	-	-	-	-	S	P	P	P	-	P	P	P	-	-
Books, Magazines, music, etc.	2135		-	-	-	-	-	-	-	P	P	P	P	-	P	P	P	-	-
Building, Mixed Use - Mixed commercial and residential use where commercial use is primary on first floor, with dwellings occupancy second floors or above (no unenclosed storage)		2300	-	-	-	-	-	-	-	-	-	-	-	-	-	P	-	-	-

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Use	LBCS Function	LBCS Structure	RA Residential Agricultural	RR Restricted Residential	R-20 Residential Single-Family	R-14 Residential Single-Family	R-12SF Residential Single-Family	R-12 Residential Mixed	R-10 Residential Mixed	R-6 Residential Mixed	MF-12 Multifamily	NC Neighborhood Commercial	HC Highway Commercial	C-1 Light Commercial & Office	C-2 General Commercial	O&I Office & Institutional	CBD Central Business District	LI Light Industrial	HI Heavy Industrial
Camera and Photographic Supplies	2132		-	-	-	-	-	-	-	-	-	P	P	P	P		P	P	P
Car Washes and Car Care Centers (see § 5.5)		2593	-	-	-	-	-	-	-	-	-	-	P/D	-	P/D	-	-	P/D	P/D
Clothing, Jewelry, Luggage, Shoes, etc.	2133		-	-	-	-	-	-	-	-	-	P	P	P	P		P	P	P
Computer and Software Sales	2131		-	-	-	-	-	-	-	-	-	P	P	P	P		P	P	P
Consumer Goods, not otherwise listed	2140		-	-	-	-	-	-	-	-	-	S	P	P	P		P	P	P
Convenience stores, without gas sales	2152	2591	-	-	-	-	-	-	-	-	-	P	P	P	P		P	P	P
Convenience stores, with gas sales		2591	-	-	-	-	-	-	-	-	-	-	P	P	P		-	P	P
Consignment Shops, Used Merchandise Store (not otherwise listed)	2145	2210	-	-	-	-	-	-	-	-	-	-	P	P	P		-	P	P
Dry cleaning and laundry	2600		-	-	-	-	-	-	-	-	-	-	P	P	P		-	P	P
Electronic equipment (small), sales and service	2120		-	-	-	-	-	-	-	-	-	-	P	P	P	P	P	P	P
Farm, landscape, and garden supply sales (feed, seed, fertilizer, farm hardware, lawn furniture, mulch, fencing, fountains, statuaries, and other incidental sales of products or related items) - (with indoor storage only)		2123	S	-	-	-	-	-	-	-	-	-	P	P	P		-	P	P
Farm, landscape, and garden supply sales (feed, seed, fertilizer, farm hardware, lawn furniture, mulch, fencing, fountains, statuaries, and other incidental sales of products or related items) - (with outdoor storage)		2123	S	-	-	-	-	-	-	-	-	-	P	-	P		-	-	P
Farmers Markets and market shops, including open markets		2260	-	-	-	-	-	-	-	-	-	-	P	-	P		S	-	-
Finance and Insurance Services (Bank, Credit and Finance, Insurance-related)	2200-2250		-	-	-	-	-	-	-	-	-	S	P	P	P	P	P	P	P
Flea markets (indoors)	2145	2580	-	-	-	-	-	-	-	-	-	-	P	P	P		-	-	P
Flea markets (outdoors) (see § 5.14)	2145	2580	-	-	-	-	-	-	-	-	-	-	P/D	-	P/D		-	-	-
Florist	2141		-	-	-	-	-	-	-	-	-	P	P	P	P	P	P	P	P
Freestanding Ice Vending Unit (see § 5.37)			-	-	-	-	-	-	-	-	-	-	P/D	-	P/D		-	-	P/D
Furniture or home furnishing sales	2121		-	-	-	-	-	-	-	-	-	-	P	P	P		-	P	P
Gasoline stations	2116	2270	-	-	-	-	-	-	-	-	-	-	P	P	P		-	-	P
Grocery stores and Supermarkets (less than 25,000 sq. ft. GFA)	2151		-	-	-	-	-	-	-	-	-	-	P	P	P		-	P	P
Grocery stores and Supermarkets (more than 25,000 sq. ft. GFA)	2151		-	-	-	-	-	-	-	-	-	-	P	-	P		-	-	P
Hardware, home centers, lumber yard, heating and plumbing etc., outside storage	2122212635102127	2592	-	-	-	-	-	-	-	-	-	-	P	-	P		-	-	P
Hardware, home centers, lumber yard, heating and plumbing etc., inside storage	2122212635102127	2592	-	-	-	-	-	-	-	-	-	-	P	P	P		-	-	P
Heavy Equipment, sales and service	2120		-	-	-	-	-	-	-	-	-	-	P	-	P		-	-	P
Leasing/Rental Recreational Goods (Furniture, Party Supplies, Sporting Goods)	2333		-	-	-	-	-	-	-	-	-	-	P	P	P		-	-	P
Leasing, Commercial and Industrial Machinery and	2333		-	-	-	-	-	-	-	-	-	-	P	-	P		-	-	P

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Equipment																			
Gunshops and Gunsmiths	2134		-	-	-	-	-	-	-	-	-	-	P	P	P	-	P	P	P
Mail order or direct selling establishments / Electronic Shopping and Mail-Order Houses	2144		-	-	-	-	-	-	-	-	-	-	P	P	P	P	P	P	P
Manufactured home and /or storage building sales (see § 5.21)	2112		-	-	-	-	-	-	-	-	-	-	P/D	-	P/D	-	-	P/D	P/D
Mini-warehousing/Self-service storage leasing (see § 5.22)	3600	2710 2720	-	-	-	-	-	-	-	-	-	-	P/D	P/D	P/D	-	-	P/D	P/D
Medical equipment sales, rental or leasing	2120		-	-	-	-	-	-	-	-	-	-	P	P	P	P	P	P	P
Monument and cut stone sales			-	-	-	-	-	-	-	-	-	-	P	-	P	-	-	P	P
Motion Picture, Video and Audio Production	4221 4223		-	-	-	-	-	-	-	-	-	-	P	P	P	-	P	P	P
Motorcycle, Motorized Scooters, ATV Sales and/or Leasing/Rental (Indoor display)	2113		-	-	-	-	-	-	-	-	-	-	P	P	P	-	P	P	P
Motorcycle, Motorized Scooters, ATV Sales and/or Leasing/Rental (Outdoor display)	2113		-	-	-	-	-	-	-	-	-	-	P	-	P	-	-	P	P
Motor Vehicles, (automobiles), Boats, RV's Sales and/or Leasing/Rental (see § 5.24)	2111 211221132114 2331 233223332000		-	-	-	-	-	-	-	-	-	-	P/D	-	P/D	-	-	P/D	P/D
Motor Vehicle Parts, Accessories, Tire Sales, enclosed building only	2115		-	-	-	-	-	-	-	-	-	-	P	P	P	-	P	P	P
Motor Vehicle, Motorcycle, ATV's, Boats, RV's, etc., repair and service	2110, 2120	2280	-	-	-	-	-	-	-	-	-	-	P	-	P	-	-	P	P
Motor Vehicle Towing with incidental storage, excluding Salvage Yards & Junkyards	4138		-	-	-	-	-	-	-	-	-	-	P	-	-	-	-	P	P
Nurseries and greenhouses, commercial (see § 5.25)	91:0	8400	S/D	-	-	-	-	-	-	-	-	-	P	P	P	-	-	P	P
Office building (general)	2200-2455 5140-5160 6800-6820	2100	-	-	-	-	-	-	-	-	-	P	P	P	P	P	P	P	P
Palmistry services, Fortune Tellers, Astrologers	2600		-	-	-	-	-	-	-	-	-	-	P	-	P	-	-	-	-
Pawnshops (as defined by NCGS 91A-2)			-	-	-	-	-	-	-	-	-	-	P	P	P	-	-	P	P
Personal Services (e.g., nail salons, barbers, shoe repair, and similar establishments), not otherwise listed	2600		-	-	-	-	-	-	-	-	-	P	P	P	P	P	P	P	P
Pet store or pet supply store	2710		-	-	-	-	-	-	-	-	-	-	P	P	P	-	P	P	P
Pharmacy or Drugstore, without drive through facility			-	-	-	-	-	-	-	-	-	P	P	P	P	P	P	P	P
Pharmacy or Drugstore, with drive through facility			-	-	-	-	-	-	-	-	-	-	P	P	P	-	-	P	P
Printing and Publishing Services	4210		-	-	-	-	-	-	-	-	-	-	P	P	P	P	P	P	P
Professional Services (Legal, Accounting, Architectural, Graphic, Consulting Services, Research and Development, Advertising, etc.)	241024162417		-	-	-	-	-	-	-	-	-	P	P	P	P	P	P	P	P

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Real Estate, Sales, Rental & Leasing	2300-2336		-	-	-	-	-	-	-	-	-	P	P	P	P	P	P	P	P
Repair of any goods, equipment or vehicles, the manufacture, assembly or sales of which are permitted in that zoning district			P	-	-	-	-	-	-	-	-	P	P	P	P	P	P	P	P
Restaurants, with drive-in or drive-through facilities	2500	2220	-	-	-	-	-	-	-	-	-	-	P	P	P	-	-	P	-
Restaurants, no drive-in or drive-through facilities	2500	2220	-	-	-	-	-	-	-	-	-	P	P	P	P	P	P	P	-
Retail sales or service establishments, not listed elsewhere, and conducted within an enclosed building	2100		-	-	-	-	-	-	-	-	-	S	P	P	P	-	S	P	P
Rural family occupation –Commercial/Industrial Unincorporated Lee County only (see § 5.30)			S/D	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Services to buildings and dwellings (Extermination, Janitorial, Landscaping, Carpet and Upholstery cleaning, Packing and crating, etc.), no outside storage	2450-2455		-	-	-	-	-	-	-	-	-	S	P	P	P	P	P	P	P
Services to buildings and dwellings (Extermination, Janitorial, Landscaping, Carpet and Upholstery cleaning, Packing and crating, etc.), with outside storage	2450-2455		-	-	-	-	-	-	-	-	-	-	P	-	P	-	-	P	P
Shopping Center, less than 25,000 sq. ft.	2500		-	-	-	-	-	-	-	-	-	-	P	-	P	-	-	P	P
Shopping Center/Superstore, 25,000 - 100,000 sq. ft. (see § 10.2)	2500		-	-	-	-	-	-	-	-	-	-	P/D	-	P/D	-	-	P/D	P/D
Shopping Center/Superstores, over 100,000 sq. ft. (see § 10.2)	2500		-	-	-	-	-	-	-	-	-	-	P/D	-	P/D	-	-	P/D	P/D
Sporting goods, toys, and hobby sales, excluding guns and gunsmiths	2134		-	-	-	-	-	-	-	-	-	S	P	P	P	-	-	P	P
Tattoo Parlor/Tattoo Studio and/or Body Piercing	2600		-	-	-	-	-	-	-	-	-	-	P	P	P	-	-	P	P
Tobacco or Tobacconist	2143		-	-	-	-	-	-	-	-	-	-	P	P	P	-	-	P	P
Upholstery and furniture refinishing	2120		-	-	-	-	-	-	-	-	-	-	P	P	P	-	-	P	P
Wholesale trade, generally, with operations conducted and merchandise stored entirely within a building and not otherwise listed	3500		-	-	-	-	-	-	-	-	-	-	P	-	P	-	-	P	P
<b>Industrial &amp; Manufacturing Uses</b>																			
Chemicals, plastics and rubber products	3326		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	S	P
Concrete and Asphalt Plants (see § 5.8)			-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P/D	P/D
Contractors' offices/shop with outdoor storage areas	7110-7450		-	-	-	-	-	-	-	-	-	S	-	S	-	-	-	S	P
Contractors' offices/shop without outdoor storage areas	7110-7450		-	-	-	-	-	-	-	-	-	P	P	P	P	P	P	P	P
Dolls, Toys, Games, and musical instruments	3420		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P
Electrical equipment, appliance and components manufacturing	3360	2621	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P

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Use	LBCS Function	LBCS Structure	RA Residential Agricultural	RR Restricted Residential	R-20 Residential Single-Family	R-14 Residential Single-Family	R-12SF Residential Single-Family	R-12 Residential Mixed	R-10 Residential Mixed	R-6 Residential Mixed	MF-12 Multifamily	NC Neighborhood Commercial	HC Highway Commercial	C-1 Light Commercial & Office	C-2 General Commercial	O&I Office & Institutional	CBD Central Business District	LI Light Industrial	HI Heavy Industrial	
Finished nonmetallic mineral products (brick, refractories, ceramics, glass, cement, etc.)	3330		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P	
Food and Beverage manufacturing	3110		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P	
Brewery (Regional Brewery and Large Brewery)																		P	P	
Brewery (Microbrewery, see § 5.42)												P/D	P/D	P/D		P/D		P	P	
Food manufacturing, Animal Slaughtering and Processing	3110		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	
Furniture and Related Products Manufacturing	3230		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P	
Jewelry and Silverware manufacturing	3410		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P	
Junkyard / Automobile Salvage Yard (see § 5.12)			-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	S/D	
Landfills, LCID (2 acres or less in size) (see § 5.19)			P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	-	P/D	P/D	
Landfills, C&D or LCID (greater than 2 acres in size) (see § 5.20)			S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	-	P/D	P/D	
Landfills, Solid waste (see § 5.20)	3345	6320	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	S/D	
Leather and Allied Products	3140		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P
Machinery and Equipment manufacturing (w/indoor storage/operations only)	3350		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P
Machinery and Equipment manufacturing (w/outdoor storage/operations)	3350		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	
Manufactured housing manufacturing			-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	
Manufacturing, excluding other uses listed in this table	3100-3230, 3350-3520		-	-	-	-	-	-	-	-	-	-	-	-	S	-	-	-	P	
Metal Manufacturing (excluding smelting operations)	3340		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P
Metal Manufacturing (smelting and similar operations)	3340		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	
Mining and Quarries Unincorporated Lee County and City of Sanford only (see § 5.23)	8000-8500		S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	P/D	
Mining and Quarries, EXCEPT Oil and Gas Extraction Town of Broadway only (see § 5.23)	8000-8500		S/D															S/D	P/D	
Mining and Quarries, Oil and Gas Extraction Town of Broadway only (see § 5.23)	8100		S/D															S/D	P/D	
Office Supply, inks, etc. manufacturing (except paper)	3430		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P
Paper and Printing Materials manufacturing	3220		-	-	-	-	-	-	-	-	-	-	-	-	P	-	-	-	P	P
Petroleum, Asphalt & Coal Manufacturing	3310		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	
Pharmaceutical Manufacturing			-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P
Pottery Manufacturing & Sales			P	-	-	-	-	-	-	-	-	-	P	-	P	-	-	-	P	P

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Use	LBCS Function	LBCS Structure	RA Residential Agricultural	RR Restricted Residential	R-20 Residential Single-Family	R-14 Residential Single-Family	R-12SF Residential Single-Family	R-12 Residential Mixed	R-10 Residential Mixed	R-6 Residential Mixed	MF-12 Multifamily	NC Neighborhood Commercial	HC Highway Commercial	C-1 Light Commercial & Office	C-2 General Commercial	O&I Office & Institutional	CBD Central Business District	LI Light Industrial	HI Heavy Industrial
Retail outlets for products manufactured on premises			-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P
Sawmills or Planing Mills			-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	S	P
Sign manufacturing	3440		-	-	-	-	-	-	-	-	-	-	P	-	P	-	-	P	P
Storage of Flammable Liquids (In Bulk) Above Ground Storage (see § 5.33)	2600	2780 2781 2782	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	S/D	S/D
Textile Mills & Apparel Manufacturing	3130		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P
Tire Recapping			-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P
Tobacco Manufacturing	3120		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P
Transportation equipment, automobiles, aircraft, boat, railroad, etc.	3770		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P
Warehouse structures, generally	3600	2730 2740 2750 2760	-	-	-	-	-	-	-	-	-	-	P	-	P	-	-	P	P
Wood Products, (except furniture)	3210		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P
<b>Arts, Recreation &amp; Entertainment</b>																			
Aquarium or Planetarium		4420 4430	-	-	-	-	-	-	-	-	-	-	P	P	P	P	P	-	-
Adult establishments (see § 5.2)			-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	S/D
Amphitheater		3130	S	-	-	-	-	-	-	-	-	-	P	P	P	P	-	P	-
Amusement or Theme Park Establishment	5310		-	-	-	-	-	-	-	-	-	-	S	-	S	-	-	S	P
Art galleries	5210	4400	-	-	-	-	-	-	-	-	-	-	P	P	P	P	P	-	-
Botanical gardens & arboreta	5230	4450	P	-	-	-	-	-	-	-	-	-	P	P	P	-	-	P	P
Bowling alley	5380	3200	-	-	-	-	-	-	-	-	-	-	P	P	P	-	P	P	P
Campgrounds (see § 5.29)	5400		S/D	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Drive-in theaters (see § 5.11)		3140	-	-	-	-	-	-	-	-	-	-	P/D	-	P/D	-	-	P/D	-
Entertainment Establishments (lounges, discos, nightclubs, pool halls and/or private clubs) (see § 5.26)			-	-	-	-	-	-	-	-	-	-	P/D	P/D	P/D	-	-	P/D	P/D
Exhibition, convention, or conference structure		3400	-	-	-	-	-	-	-	-	-	-	S	S	P	P	P	P	P
Fitness and recreational sports, gym, health spa, reducing salon, swimming pool/auditorium, racquet club or athletic club (not otherwise listed)	5370		S	S	S	S	S	S	S	S	S	S	P	P	P	P	P	P	P
Golf courses, public and private	5370		S	S	S	S	S	S	S	S	S	-	-	-	-	P	-	P	P
Golf driving ranges	5370		S	S	S	S	S	S	S	S	S	-	P	P	P	P	-	P	P
Golf, miniature	5340		-	-	-	-	-	-	-	-	-	-	P	P	P	-	-	P	P
Hunting and trapping, game retreats, game and fishing preserves	9520		S	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P
Movie Theater		3120	-	-	-	-	-	-	-	-	-	-	P	P	P	-	-	P	P



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Use	LBCS Function	LBCS Structure	RA Residential Agricultural	RR Restricted Residential	R-20 Residential Single-Family	R-14 Residential Single-Family	R-12SF Residential Single-Family	R-12 Residential Mixed	R-10 Residential Mixed	R-6 Residential Mixed	MF-12 Multifamily	NC Neighborhood Commercial	HC Highway Commercial	C-1 Light Commercial & Office	C-2 General Commercial	O&I Office & Institutional	CBD Central Business District	LI Light Industrial	HI Heavy Industrial
Museums and art galleries	5210	4400	-	-	-	-	-	-	-	-	-	-	P	P	P	P	P	P	-
Outdoor stage, bandstand, or similar structure (maximum 3,000 sq. ft.)		6970	S	-	-	-	-	-	-	-	-	-	-	P	P	-	P	P	P
Parks, playgrounds, and athletic fields operated on a noncommercial basis	5500		P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
Performance Theaters (outdoor)	5110	3110	S	-	-	-	-	-	-	-	-	-	-	P	P	-	P	P	P
Performance Theaters or auditoria (indoor)	5110	3110	S	-	-	-	-	-	-	-	-	-	P	P	P	-	P	P	P
Raceways, drag strips (motorized vehicles) 5.27	5130		S/D	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P/D	P/D
Recreation activities, commercial indoor, not otherwise listed	5300		S	-	-	-	-	-	-	-	-	-	P	P	P	-	S	P	P
Recreation activities, commercial outdoor (defined in Article 5), not otherwise listed 5.28	5310	4440	S/D	-	-	-	-	-	-	-	-	-	-	P/D	-	-	-	P/D	P/D
Skating Rink - Ice Or Roller Skating	5390		-	-	-	-	-	-	-	-	-	P	P	P	-	-	-	P	P
Sports stadiums or arenas	5120	3300	S	S	S	S	S	S	S	S	S	-	P	P	P	S	S	P	P
Stables/Riding Academies		8240	P/D	P/D	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Stable, Accessory to Dwelling	5300	8240	P/D	P/D	P/D	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Studios for artists, designers, musicians, photographers, sculptors, woodworking (not as home occupation)	5210	4410	S	-	-	-	-	-	-	-	-	P	P	P	P	-	P	-	-
Travel Trailer Parks (see § 5.36)			S/D	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Zoos	5230	4450	S	-	-	-	-	-	-	-	-	P	P	P	-	-	-	P	P
<b>Education, Public Administration, Health Care, and Institutional</b>																			
Cemeteries, public and private (does not include individual family plots) (see § 5.6)		4700	P/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D
Civic, Social, and Fraternal Organizations, including community centers, meeting halls, community halls, reception halls, wedding halls, for assembly and recreation	6830	3700 3800	S	S	S	S	S	S	S	S	S	P	P	P	P	P	P	P	P
Community food services (see § 5.7)	6563		-	-	-	-	-	-	-	-	-	-	P/D	P/D	-	-	-	P/D	-
Correctional facilities (see § 5.9)	6222	4600	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P/D
Crematorium & Embalming	6720	4800	-	-	-	-	-	-	-	-	-	P	P	P	P	P	P	P	P
Day Care facility, Child Care Center (see § 5.10)	6562		S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	P/D	P/D	P/D	P/D	P/D	P/D	-	-
Day Care facility, Home Child Care (see § 5.10)	6562		P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	P/D	-	-
Day Care facility, Adult (see § 5.38)	6566		S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	P	P	P	P	P	P	-	-	

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Use	LBCS Function		LBCS Structure																
			RA Residential Agricultural	RR Restricted Residential	R-20 Residential Single-Family	R-14 Residential Single-Family	R-12SF Residential Single-Family	R-12 Residential Mixed	R-10 Residential Mixed	R-6 Residential Mixed	MF-12 Multifamily	NC Neighborhood Commercial	HC Highway Commercial	C-1 Light Commercial & Office	C-2 General Commercial	O&I Office & Institutional	CBD Central Business District	LI Light Industrial	HI Heavy Industrial
Fire, sheriff, and emergency services	6400-6430	4500-4530	S	S	S	S	S	S	S	S	S	S	S	P	P	P	P	P	P
Funeral homes	6710	4800	-	-	-	-	-	-	-	-	-	-	-	P	P	P	P	P	P
Governmental Functions, not otherwise listed	6200 - 6221		S	S	S	S	S	S	S	S	S	S	P	P	P	P	P	P	P
Hospitals	6530	4110	-	-	-	-	-	-	-	-	-	-	-	-	P	P	P	P	P
Libraries		4300	S	S	S	S	S	S	S	S	S	P	P	P	P	P	P	-	-
Medical and dental clinics or offices, ambulatory or outpatient care, family planning and care, and blood or organ banks	6510 - 6514	4120	-	-	-	-	-	-	-	-	-	S	P	P	P	P	P	-	-
Post office	6310		-	-	-	-	-	-	-	-	-	-	-	P	P	P	P	P	P
Religious Complex (less than 350 seats), new site	6600	3500	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	-	P
Religious Complex (more than 350 seats), new site	6600	3500	S	S	S	S	S	S	S	S	S	P	P	P	P	P	-	P	P
Religious Complex (any size), addition to existing complex/site	6600	3500	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
Schools, Continuing Education (alternative, adult, colleges and universities, and technical, trade, and other specialty schools)	6124-6144 6147	4220	S	S	S	S	S	S	S	S	S	P	P	P	P	P	P	P	P
Schools, Pre-K – Secondary (nursery and preschool, grade schools, elementary, middle, and high school), new site	6110-6123	4210	S	S	S	S	S	S	S	S	S	P	P	P	P	P	S	S	S
Schools, Pre-K – Secondary (nursery and preschool, grade schools, elementary, middle, and high school), addition to existing site	6110-6123	4210	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
Schools, Fine and Performing Arts	6145		-	-	-	-	-	-	-	-	-	-	-	P	P	P	P	-	-
Social assistance, welfare and charitable services	6560-6568		-	-	-	-	-	-	-	-	S	S	P	P	P	P	S	S	-
<b>Transportation, Communication, and Utilities</b>																			
Airports, Heliports, and Support Establishments	4110-4114	3620-3600-5650	S	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P
Bus passenger stations/terminals/shelters	4133	5300	-	-	-	-	-	-	-	-	-	-	P	-	P	-	P	P	P
Freight terminals & truck terminals	4140-4144		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P
Gas or electric generation distribution facilities, compressor stations, or substations	4310	6410-6422, 6440-6460	S	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P
Hazardous waste facilities (subject to MCGS § 130A-293)		6340	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	S
Parking lots, parking structures or underground parking areas (commercial or governmental)		5200-5250	-	-	-	-	-	-	-	-	-	-	P	P	P	P	P	P	P
Power generation plants or substations		6430-6435	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	S
Public utility storage and service yards			-	-	-	-	-	-	-	-	-	-	-	-	S	-	-	P	P

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Radio and TV stations and studios (excluding transmission tower)	4231		-	-	-	-	-	-	-	-	-	-	P	P	P	P	P	P	P	
Railroad freight yards, repair shops/sheds and marshalling yards	4123	5720	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P	
Sewage treatment and Water treatment plants	1346		S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	P	P	
Solar Collectors, Commercial (see § 5.39)	4310		S/D	S/D	S/D	S/D	S/D				S/D	S/D	S/D	S/D	S/D	S/D		S/D	S/D	
Solar Collectors, Residential (see § 5.40)			P/D	P/D																
Solid Waste Collection, Transfer and/or disposal (Non-Hazardous)	4343		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	S	S
Solid Waste Convenience Centers			-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	S	S
Solid waste combustor or incinerator	4254	6130	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	S
Taxi and Limousine Service	4137		-	-	-	-	-	-	-	-	-	-	P	P	P	-	P	P	P	
Telecommunication towers (see § 5.33)	4230	6500	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	S/D	
Utility lines (including electric lines, phone/cable lines, distribution circuits, gas/fuel lines, water lines, steam/air conditioning lines, irrigation channels, and sewer/waste water lines)		6100-6162	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	
<b>Agriculture</b>																				
Animal Production and Support Services, (unincorporated Lee County)	9300-9380	8200	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	
Animal Production and Support Services, (Sanford and Broadway)	9300-9380	8200	S	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	
Crop Production and Support Functions, (unincorporated Lee County)	9100-9210	8100	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	
Crop Production and Support Functions, (Sanford and Broadway)	9100-9240	8100	P	S	S	S	S	S	S	S	P	P	P	P	P	P	P	P	P	
Forestry and Logging and Support Services, (unincorporated Lee County)	9400-9430		P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	
Forestry and Logging and Support Services, (Sanford and Broadway)	9400-9430		S	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	
Livestock sales and markets	9200		P	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	

Signs - See \_\_\_\_\_ of this Ordinance  
Temporary Uses - See \_\_\_\_\_ of this Ordinance

5.20.19 PH Lee Co BOC

**Amendment 7. Amend Article 13. Flood Hazard Area Regulations**

This amendment proposes to revise the flood hazard regulations to add oil and gas exploration as well as mining and quarrying to the list of land uses as prohibited from being located within a flood hazard area (100-year flood plain).

13.8.1.10 New solid waste disposal facilities and sites, hazardous waste management facilities, salvage yards, chemical storage facilities, oil and gas exploration, development and/or production operations, and mining and quarrying operations shall not be permitted, except by variance as specified in Section 13.7.10. A structure or tank for chemical or fuel storage incidental to an allowed use or to the operation of a water treatment plant or wastewater treatment facility may be located in a Special Flood Hazard Area only if the structure or tank is either elevated or floodproofed to at least the regulatory flood protection elevation and certified according to Section 13.4.4 of this ordinance.



# LEE COUNTY AGENDA ABSTRACT BOARD OF COMMISSIONERS MEETING

ITEM #:  
**VI. A.**

(Use the Down or Up Arrows to move between fields of the Form)

**MEETING DATE:** May 20, 2019

**SUBJECT:** Presentation of JCPC FY2019-2020 Funding Plan

**DEPARTMENT:** N/A

**CONTACT PERSON:** Pamela Glover, JCPC Chairperson

**TYPE:**  Consent Agenda  Action Item  Public Hearing  Information

REQUEST	Ms. Glover will present the FY2019-2020 JCPC Funding Plan
BUDGET IMPACT	N/A
ATTACHMENTS	Request to appear before the Board form
PRIOR BOARD ACTION	N/A
RECOMMENDATION	Pleasure of the Board
SUMMARY	

Ms. Glover has asked to address the Board and give an update of JCPC's FY2019-2020 Funding Plan.

**COUNTY OF LEE**

**REQUEST TO APPEAR BEFORE THE BOARD OF COMMISSIONERS**

According to adopted rules of procedure, any individual who wishes to appear before the Board of Commissioners must complete this request form and submit it no later than six (6) working days prior to the date of the scheduled meeting. Your request should be specific and provide sufficient information which will allow the Board to consider the matter. Copies of any supporting material should be included with this request form. Individuals requesting to appear on the agenda will be granted a maximum of ten (10) minutes to make their presentation.

Name: Pamela Victoria Glover, JCPC Chairperson

Address: 314 South Currie Drive, Sanford, NC 27330

Telephone Number: 919-356-2479

E-mail Address: leecoicpc@gmail.com

Date of Meeting You Wish to Appear At: May 20<sup>th</sup>, 2019

Please describe in detail the matter you would like to discuss:

The County Plan and Funding Decisions for the FY 19-20 from the Lee County Juvenile Crime Prevention Council. The funding decision was as follows: Scots for Youth: \$65,379; Project Challenge North Carolina, Inc.: \$62,312; DASH Mentoring: \$20,000; G-MEN-High School Seminar: \$5,000; and Administrative: \$9,080 for a Grand Total of \$161,771.

  
\_\_\_\_\_  
Signature

5-8-2019  
Date

Please deliver your request to: County of Lee, Clerk to the Board, 408 Summit Drive, PO Box 1968, Sanford, NC 27331-1968. Mailed requests must be postmarked no later than six (6) days prior to the scheduled meeting.

## **Lee County Juvenile Crime Prevention Council 2019-2020 Executive Summary**

The Lee County Juvenile Crime Prevention Council (JCPC), in fulfillment of the duties and responsibilities as set forth in the General Statutes of the State of North Carolina, has reviewed and updated the County Plan.

The JCPC has identified the issues and factors which have an influence and impact upon delinquent youth, at-risk youth, and their families in Lee County. Further, the JCPC has identified the strategies and services most likely to reduce/prevent delinquent behavior. During the FY 18-19, the Lee County JCPC performed intentional efforts to ensure that the JCPC was being more visible within Lee County as an agency willing and able to provide assistance and support to other agencies within the Lee County community.

### JCPC Action Plan Progress:

- 1) Participated in faith-based community outreach events,
- 2) Council Members were guest speakers for the public school system and community college,
- 3) Reached out to local resources in the community to initiate a partnership with agencies readily providing services to youth in Lee County. These resources are: CCCC TRiO Program and Triangle South Workforce Development's NextGen Federal Program,
- 4) For the FY 19-20, the Council will continue enhancing the use of local resources namely the CCCC YouthBuild Program and continue to strengthen the partnership with Lee County Schools and Lee County Sheriff's Department.
- 5) After 10 plus years of advertising, the Council was able to fund a Teen Court Program which has decreased the number of School Referrals to our Division of Juvenile Justice.
- 6) The Council is working more closely with local media in order to bring more awareness about the JCPC, funded programs, the needs and desires of the Council.

Priorities for Funding: Through a risk & needs assessment and a resource assessment, the JCPC has determined that the following services are needed to reduce/prevent delinquency Lee County.

1. Interpersonal Skills Building
2. Juvenile Structured Day Program (Partial Day)
3. Mediation/Conflict Resolution
4. Mentoring
5. Parent/Family Skills Building
6. Psychological Assessment Services
7. Restitution/Community Services
8. Teen Court

**Monitoring and Evaluation:** The funded programs for the FY 18-19 were: Eleventh Juvenile District Re-Entry Psychological Assessment, G-Men High School Seminar, Project Challenge-NC and Scots for Youth Teen Court Programs. These funded programs were monitored as instructed by the NC DPS and General Statutes during January and February 2019. The monitoring results and program outcomes evaluations were considered in making funding allocation decisions. The JCPC continues to conduct implementation monitoring of its action plan and its funded programs on a quarterly basis.

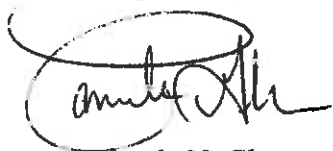
**Funding Recommendations:** Having published a Request for Proposals for these needed services for a minimum of thirty (30) days, the JCPC has screened the submitted proposals and has determined which proposals best meet the advertised needed services. As required by statute, the JCPC recommends allocation of the NC Department of Public Safety Division of Adult Correction and Juvenile Justice Funds to the following Programs in the amounts specified below for the upcoming fiscal year. Please Note: There was \$161,771.00 in JCPC Funding request for FY 19-20.

1. Scots for Youth- Teen Court-	\$65,379
2. Project Challenge of North Carolina-	\$62,312
3. DASH Mentoring-	\$20,000
4. G-MEN-High School Seminar-	\$ 5,000

The JCPC further recommends that the following amount be allocated from the NC DPS/DACJJ funds for the Administrative costs of the Council for FY 19-20:

1. \$9,080 (\$5,600 Part-Time Coordinator Position)

Respectfully Submitted,



Pamela V. Glover, AAS, BA, MPA  
Chairperson  
Lee County Juvenile Crime Prevention Council

Date: 5-8-2019



**LEE County**  
**NC DPS - Community Programs - County Funding Plan**

Available Funds: \$ 161,771 Local Match: \$ 63,318 Rate: 30%

DPS JCPC funds must be committed with a Program Agreement submitted in NC Allis and electronically signed by authorized officials.

#	Program Provider	DPS-JCPC Funding	LOCAL FUNDING			OTHER State/ Federal	OTHER Funds	Total	% Non DPS-JCPC Program Revenues
			County Cash Match	Local Cash Match	Local In-Kind				
1	County JCPC Administrative	\$9,080					\$9,080		
2	Project Challenge (LEE)	\$82,312			\$19,430		\$81,742	24%	
3	DASH Mentoring	\$20,000			\$7,710		\$27,710	28%	
4	Scots For Youth-Lee County Teen Court	\$65,379			\$23,936		\$89,315	27%	
5	GMEN-High School Seminar	\$5,000			\$12,242		\$17,242	71%	
6									
7									
8									
9									
10									
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16									
17									
18									
<b>TOTALS:</b>		<b>\$161,771</b>			<b>\$63,318</b>		<b>\$225,089</b>	<b>28%</b>	

The above plan was derived through a planning process by the LEE County  
Juvenile Crime Prevention Council and represents the County's Plan for use of these funds in FY 2019-2020

*Amelia Olson* 5-8-2019  
Chairperson, Juvenile Crime Prevention Council (Date)

*Dino D. [Signature]* 5-9-2019  
Chairperson, Board of County Commissioners  
or County Finance Officer (Date)

-----DPS Use Only-----

**Lee County Juvenile Crime Prevention Council  
Request for Proposals**

**\$161,771**  
Anticipated County Allocation

**30%**  
Required Local Match Rate

**February 10<sup>th</sup>, 2019**  
Date Advertised

The Juvenile Crime Prevention Council (JCPC) has studied the risk factors and needs of Juvenile Court involved youth in this county and hereby publishes this Request for Proposals. The JCPC anticipates funds from the NC Department of Public Safety, Division of Adult Corrections and Juvenile Justice, Juvenile Community Programs section in the amount stated above to fund the program types specified below. Such programs will serve delinquent and at-risk youth for the state fiscal year 2019-2020 beginning on, or after, July 1, 2019. The use of these funds in this county requires a local match in the amount specified above.

**The JCPC will consider proposals for the following needed programs:**

Mentoring Services	Interpersonal Skill Building	Juvenile Structured Day (Partial Day Services Only)
Parent/Family Skill Building	Restitution/Community Service	Teen Court
Assessment Services	Mediation/Conflict Resolution	Vocational Development

**Proposed program services should target the following risk factors for delinquency or repeat delinquency:**

- o Youth are 12 years or older when first delinquent offense is alleged in a complaint
- o Youth report some substance abuse/mental health issues and/or need further assessing or treatment
- o Youth have moderate to serious behavior problems at school
- o Youth sometimes/regularly associates with negative/delinquent peers
- o Lack of Parental supervision

**Programs should address the following concerns as reported in the Needs Assessments for adjudicated youth:**

**Peer Domain:** Youth association with negative and/or delinquent peers.

**Individual Domain:** Youth are age 12 years or older at the time of the 1st delinquent offense alleged in a complaint. Youth reported having mental health issues that are being addressed and/or need further assessing or treatment

**Family Domain:** Parent/guardian/custodian supervision skills are reported as marginal; domestic discord in the home; and family members with a criminal history.

**School Domain:** Youth have moderate to serious school behavior problems as a result poor school attendance, excessive in-school and/or out of school suspensions.

**Applicants are being sought that are able to address items below:**

1. Program services compatible with research that are shown to be effective with juvenile offenders.
2. Program services are outcome-based.
3. The program has an evaluation component.
4. Program services detect gang participation and divert individual, if applicable.

Pamela Glover, JCPC Chair  
JCPC Chairperson or Designee

at

919-356-2479  
Telephone #

In order to apply for FY 2019-2020 JCPC funding, you must complete and submit your application online by accessing NC ALLIES and by submitting to the address indicated below. Please read and follow all instructions at the following link: <https://www.ncdps.gov/Juvenile-Justice/Community-Programs/Juvenile-Crime-Prevention-Councils/Program-Agreement-Information>. Local public agencies, 501(c)(3) non-profit corporations and local housing authorities are invited to submit applications to provide services addressing the above elements. After submitting the application electronically, please print and submit hard copies as indicated below. Private non-profits are also required to submit (1) No Over Due Tax forms, (2) Conflict of Interest Statements, and (3) proof of 501(c)(3) status. In order to be considered for funding all required documentation MUST be submitted with the program application by the deadline date and at the address listed below.

**NOTE:** For further information, or technical assistance about applying for JCPC funds in this county Pamela Glover, JCPC Chair at 919-356-2479 or contact Area Consultant, Ronald Tillman at 919-323-6845.

Deadline for Application is: March 12<sup>th</sup>, 2019 by 5:00 P.M.



**NC Department of Public Safety  
Juvenile Crime Prevention Council Certification**

**Fiscal Year: 2019 - 2020**

**County: Lee** **Date: April 27, 2019**

**CERTIFICATION STANDARDS**

**STANDARD #1 - Membership**

- A. Have the members of the Juvenile Crime Prevention Council been appointed by county commissioners? Yes
- B. Is the membership list attached? Yes
- C. Are members appointed for two year terms and are those terms staggered? Yes
- D. Is membership reflective of social-economic and racial diversity of the community? Yes
- E. Does the membership of the Juvenile Crime Prevention Council reflect the required positions as provided by N.C.G.S. §143B-846?  
If not, which positions are vacant and why? No

Business Member and United Way/Non Profit Positions are Vacant

**STANDARD #2 - Organization**

- A. Does the JCPC have written Bylaws? Yes
- B. Bylaws are  attached or  on file (Select one.) Yes
- C. Bylaws contain Conflict of Interest section per JCPC policy and procedure. Yes
- D. Does the JCPC have written policies and procedures for funding and review? Yes
- E. These policies and procedures  attached or  on file. (Select one.) Yes
- F. Does the JCPC have officers and are they elected annually?  
JCPC has:  Chair;  Vice-Chair;  Secretary;  Treasurer. Yes

**STANDARD #3 - Meetings**

- A. JCPC meetings are considered open and public notice of meetings is provided. Yes
- B. Is a quorum defined as the majority of membership and required to be present in order to conduct business at JCPC meetings? Yes
- C. Does the JCPC meet bi-monthly at a minimum? Yes
- D. Are minutes taken at all official meetings? Yes
- E. Are minutes distributed prior to or during subsequent meetings? Yes

**STANDARD #4 - Planning**

- A. Does the JCPC conduct an annual planning process which includes a needs assessment, monitoring of programs and funding allocation process? Yes
- B. Is this Annual Plan presented to the Board of County Commissioners and to DPS? Yes
- C. Is the Funding Plan approved by the full council and submitted to Commissioners for their approval? Yes

**Juvenile Crime Prevention Council Certification (cont'd)**

**STANDARD #5 - Public Awareness**

- A. Does the JCPC communicate the availability of funds to all public and private non-profit agencies which serve children or their families and to other interested community members? ( RFP, distribution list, and article attached) Yes

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- B. Does the JCPC complete an annual needs assessment and make that information available to agencies which serve children or their families, and to interested community members? Yes

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**STANDARD #6 – No Overdue Tax Debt**

- A. As recipient of the county DPS JCPC allocation, does the County certify that it has no overdue tax debts, as defined by N.C.G.S. §105-243.1, at the Federal, State, or local level? Yes

---

Briefly outline the plan for correcting any areas of standards non-compliance.

The JCPC plans to fill their two vacant positions by December 31st, 2019.

Having  
complied

with the Standards as documented herein, the Juvenile Crime Prevention Council may use up to \$15,500 of its annual Juvenile Crime Prevention fund allocation to cover administrative and related costs of the council. *Form JCPC/ OP 002 (b) JCPC Certification Budget Pages* detailing the expenditure budget must be attached to this certification.

The JCPC Certification must be received by June 30, 2019.

**JCPC Administrative Funds  
SOURCES OF REVENUE**

<b>DPS JCPC</b>	\$9,080
<small>Only list requested funds for JCPC Administrative Budget.</small>	
<b>Local</b>	
<b>Other</b>	
<b>Total</b>	\$9,080

  
\_\_\_\_\_  
JCPC Chairperson

5-8-2019  
\_\_\_\_\_  
Date

\_\_\_\_\_  
Chairman, Board of County Commissioners Date

\_\_\_\_\_  
DPS Designated Official Date

**Juvenile Crime Prevention Council Certification (cont'd)**

**Lee**

**County**

**FY 2019-2020**

Instructions: N.C.G.S. § 143B-846 specifies suggested members be appointed by county commissioners to serve on local Juvenile Crime Prevention Councils. In certain categories, a designee may be appointed to serve. Please indicate the person appointed to serve in each category and his/her title. Indicate appointed members who are designees for named positions. Indicate race and gender for all appointments.

Specified Members	Name	Title	Designee	Race	Gender
1) School Superintendent or designee	Dr. Johnnye Waller	Asst. Superintendent	<input checked="" type="checkbox"/>	W	F
2) Chief of Police	Todd Hinnant	Chief	<input type="checkbox"/>	W	M
3) Local Sheriff or designee	Jynnifer Bridges	Segegrant	<input checked="" type="checkbox"/>	W	F
4) District Attorney or designee	Chris Autry	Asst. District Atty	<input checked="" type="checkbox"/>	W	M
5) Chief Court Counselor or designee	Marsha Woodall	Chief Court Counselor	<input type="checkbox"/>	W	F
6) Director, AMH/DD/SA, or designee	Laurie Perez	Licensed Counselor	<input checked="" type="checkbox"/>	W	F
7) Director DSS or designee	Angelina Noel	DSS Director	<input type="checkbox"/>	W	F
8) County Manager or designee			<input type="checkbox"/>		
9) Substance Abuse Professional	Beverly Wicker	Licensed Substance Abuse Counselo		B	F
10) Member of Faith Community	Gail Dickens	Pastor		W	F
11) County Commissioner	Arianna del Plazo	County Commissioner		H	F
12) Two Persons under age 18 (State Youth Council Representative, if available)	Trinity Patterson	Under 18		W	F
	Makenzie Roche	Under 18		W	F
13) Juvenile Defense Attorney	Nicolle Phair	Attorney		B	F
14) Chief District Judge or designee	Jim Love Jr.	Judge	<input checked="" type="checkbox"/>	W	F
15) Member of Business Community					
16) Local Health Director or designee	Juan Franco	Vital Records	<input checked="" type="checkbox"/>	H	M
17) Rep. United Way/other non-profit					
18) Representative/Parks and Rec.	Bill Shuey	Athletics Superviro		W	H
19) County Commissioner appointee	Pamela Glover	Chair		B	F
20) County Commissioner appointee	Margaret Johnson	Retired DSS Supervisor		B	F
21) County Commissioner appointee	Brenda Williams	Retired Housing Authority		B	F
22) County Commissioner appointee	Christine Hillard	Board of Education		W	F
23) County Commissioner appointee	Paulina Romero	Youth Rep		H	F
24) County Commissioner appointee					

**Juvenile Crime Prevention Council Certification (cont'd)**

25) County Commissioner appointee					
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## **Corrective Action Plan**

### **Lee County FY 19-20 JCPC Certification Standards**

#### **STANDARD #1-Membership –(NCGA 143B-846)**

- The Lee County JCPC has two positions as provided by NCGA 143B-846 not filled for FY 19-20. The following positions are not filled at this time which are:
  1. Business Community Member
  2. United Way Representative

**Corrective Action:** The membership committee is currently looking for new strategies to actively recruit for these vacant positions on the JCPC Board. The goal is to have these positions filled no later than **December 31, 2019**.



# LEE COUNTY AGENDA ABSTRACT BOARD OF COMMISSIONERS MEETING

ITEM #:  
**VI. B.**

(Use the Down or Up Arrows to move between fields of the Form)

**MEETING DATE:** May 20, 2019

**SUBJECT:** Presentation by Triangle J COG regarding Housing Study for City of Sanford/Lee County

**DEPARTMENT:** Sanford / Lee County Planning & Development Department

**CONTACT PERSON:** Marshall Downey, Director

**TYPE:**  Consent Agenda  Action Item  Public Hearing  Information

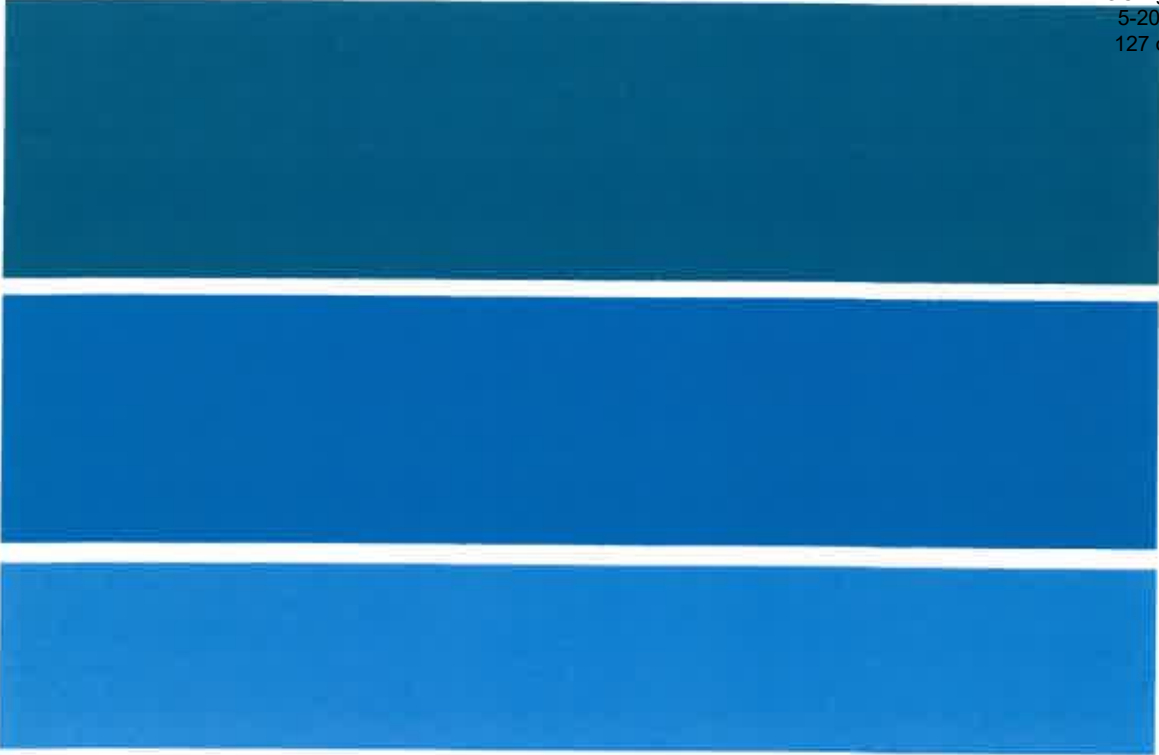
REQUEST	Presentation by Triangle J COG regarding Housing Study for City of Sanford/Lee County
BUDGET IMPACT	none
ATTACHMENTS	PowerPoint slides
PRIOR BOARD ACTION	N/A
RECOMMENDATION	Receive information regarding Housing in our community including recommended strategies to address deficiencies
SUMMARY	

As of a result of the S3 Housing Connect initiative and the related Housing committee, a study of housing trends and needs in our community was commissioned in late 2018 and the Triangle J Council of Governments (COG) was selected to assist. City/County Planning staff worked with Triangle J staff over the past several months to review housing trend data and local conditions. The report is now complete and the COG staff will present the information and findings to the Board at the May 20 meeting.



# City of Sanford & Lee County Housing Study

Erika Brown  
Aspen Romeyn

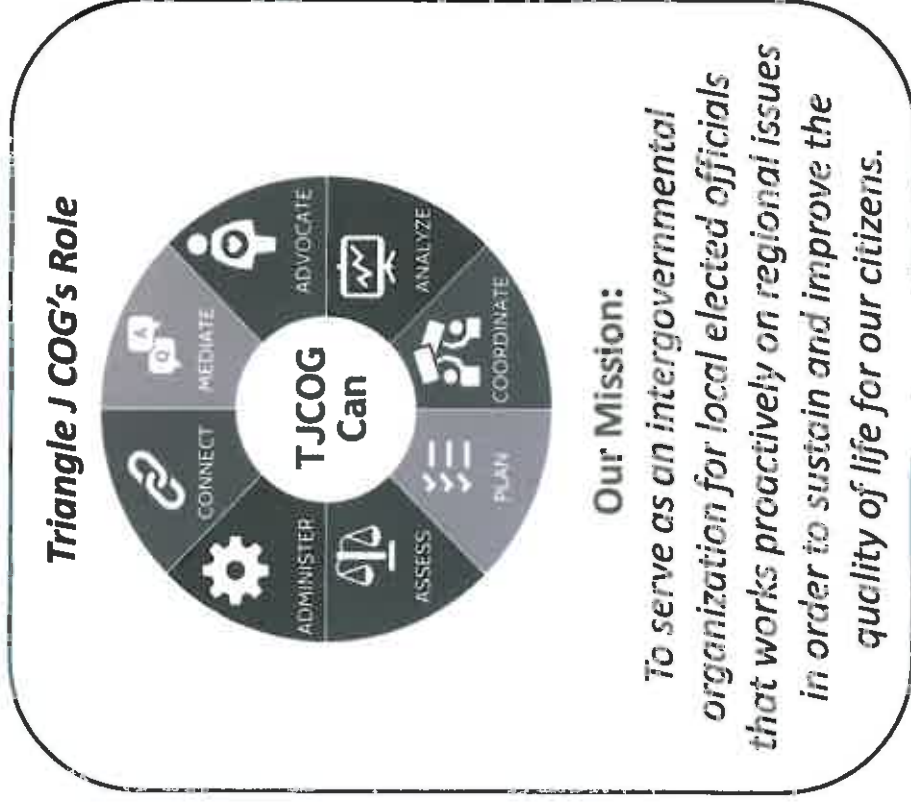


# Triangle J COG Overview

Triangle J COG is a 43-member governmental organization that provides regional planning expertise and houses the Area Agency on Aging.

We've worked on housing-related projects across the region, including:

- Chatham County
- Wake County
- Durham County
- Orange County
- Johnston County



# Presentation Overview



What is a Housing Study?



Key Trends



Opportunity Sites Analysis

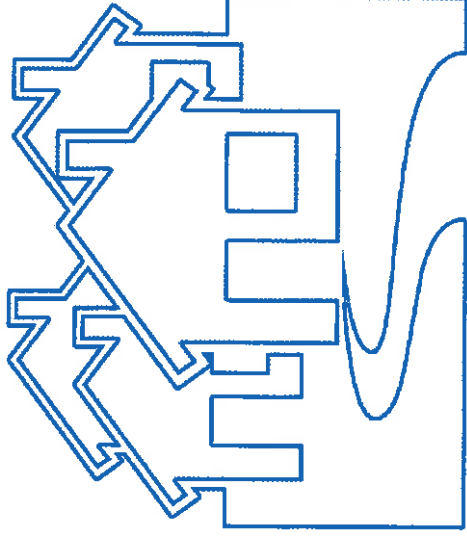


Goals and Strategies to Support Housing Affordability

# What is a Housing Study?

## **The Housing Study includes:**

- Analysis of socio-demographic data and housing need
- Housing inventory
- Opportunity sites analysis
- Potential strategies to incentivize affordable housing
- Best practices for potential strategies

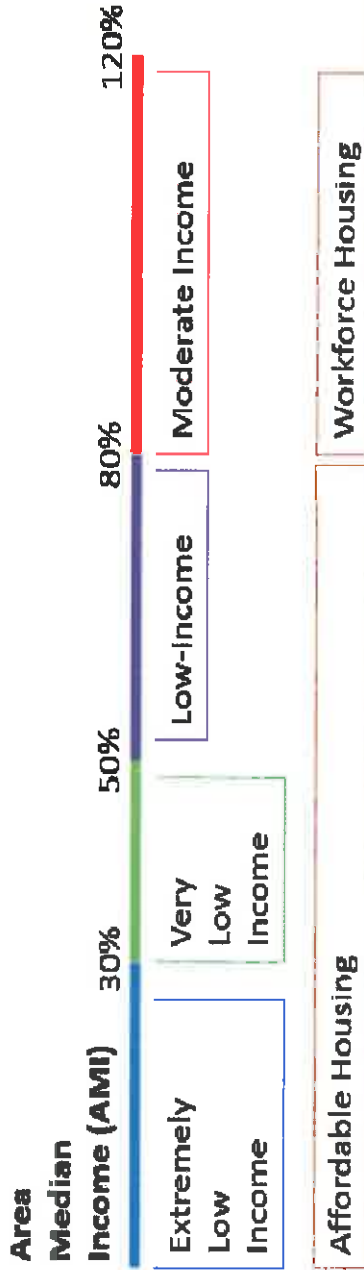


# What is Affordable Housing?



 +  + ≤ 30%

# What is Affordable Housing?



Median Income	FY2018 Income Limit	Persons in Family			
		1	2	3	4
\$58,000	30% of AMI (Extremely Low-Income)	12,200	16,460	20,780	25,100
	50% of AMI (Very Low-Income)	20,300	23,200	26,100	29,000
	80% of AMI (Low-Income)	32,500	37,150	41,800	46,400
	120% of AMI	48,720	55,680	62,640	69,600

# Types of Affordable Housing

## Legally-binding Affordability Restricted

**(LBAR) Housing:** housing with a legally binding affordability restriction attached to a property or housing structure that restricts the cost to a defined income level for a defined period of time.



## Naturally Occurring Affordable Housing

**(NOAH):** market rate housing where the quality, size, location, or amenities of the housing result in rent low enough for low-income households to reasonably afford them.



# Key Housing and Affordability Trends

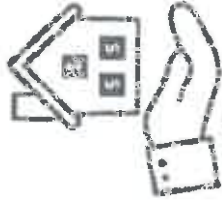
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## Diverse Population Growth

Continued growth of older adult, non-white, and Hispanic households who experience disparate housing situations by race, ethnicity, age and location.

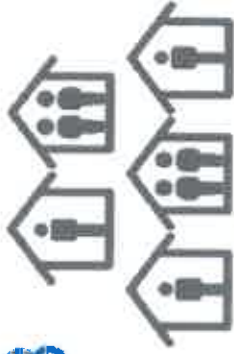
2



## Many Cost-Burdened Households

One in three Lee County households pay more than 30% of their incomes for housing.

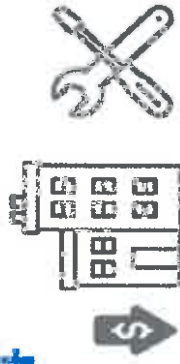
3



## Housing Supply/Demand Mismatch

There are more small households than there are small houses. Existing housing types are not serving the changing needs of the community.

4



## Housing Quality Needs for Affordable Units

Many market-rate properties in Sanford have affordable rental rates, but they may be older, have deferred maintenance needs, or be of poor quality.



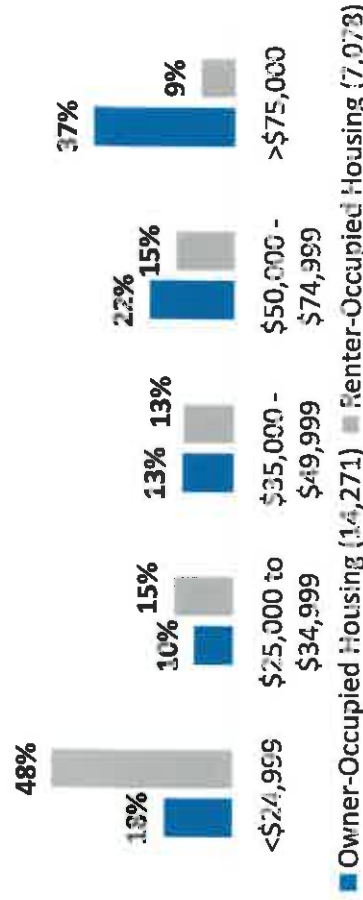
# Socio-economic Trends

Lee County residents are diverse and are projected to become even more so in the future.



Renter households make up 33% of all households in the County, and 45% in Sanford.

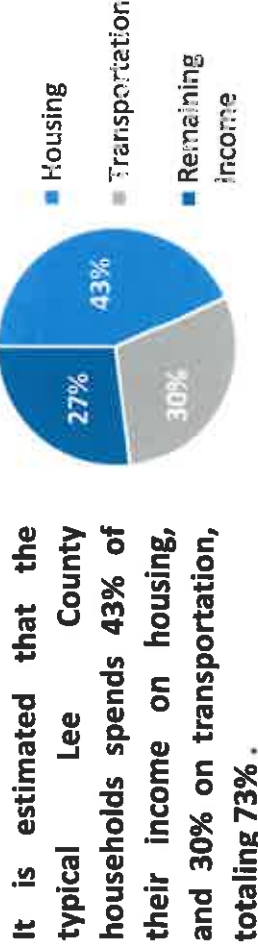
- In Lee County, non-White households are more likely to rent than White households.
- On average, renter households make less than owner-occupied households. Nearly 50% of renter households in the County make less than \$25,000 annually.



Older adults (65+ years) make up 15% of the population. On average, their annual income is less than the overall population.

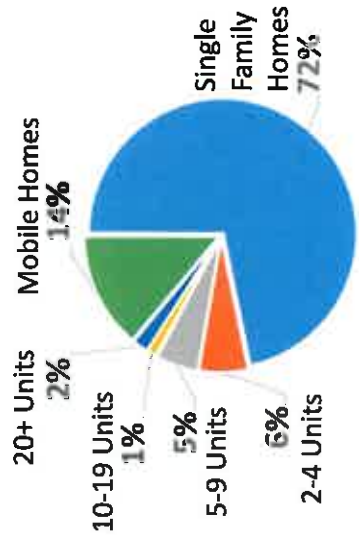


Of the more than 25,000 people who work in Lee County, only 68% live in Lee County – meaning more than 30% are currently residing in other counties.

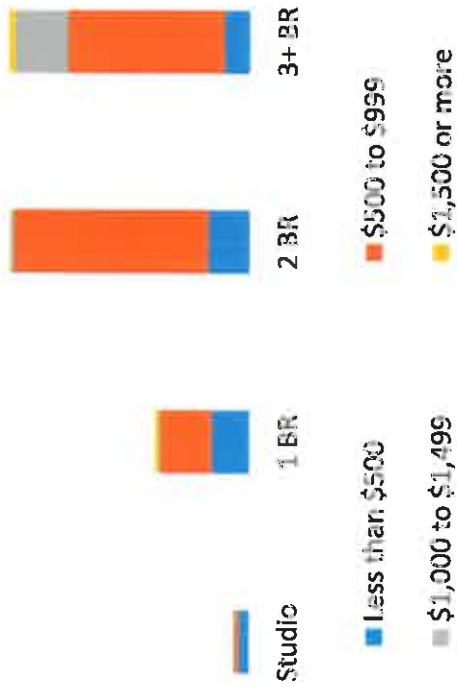


# Housing Stock and Affordability Trends

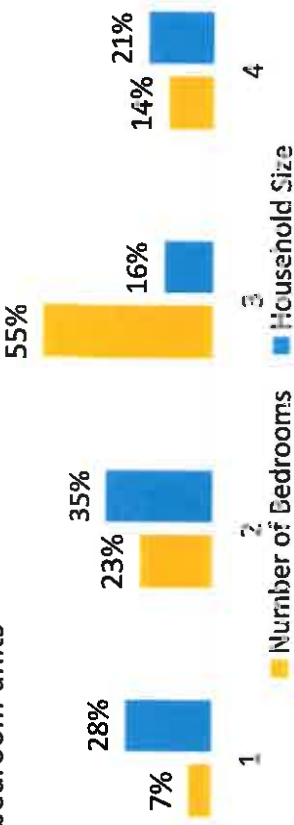
The County's existing housing stock is primarily single-family homes and mobile homes. More unit types could provide more flexibility for different family types and sizes.



The majority of rental units rent between \$500 and \$999 per month, affordable to those between 50% and 80% AMI, depending on household size. **There are very few rental units affordable at 30% AMI or less.**



Smaller households do not have many options for small units. They may have to pay more money for a larger unit than they need or desire. 63% of households are just one- and two-person households, yet only 30% of the housing stock is 1 and 2-bedroom units



Smaller units, such as studios and one-bedrooms, are more likely to be less expensive.

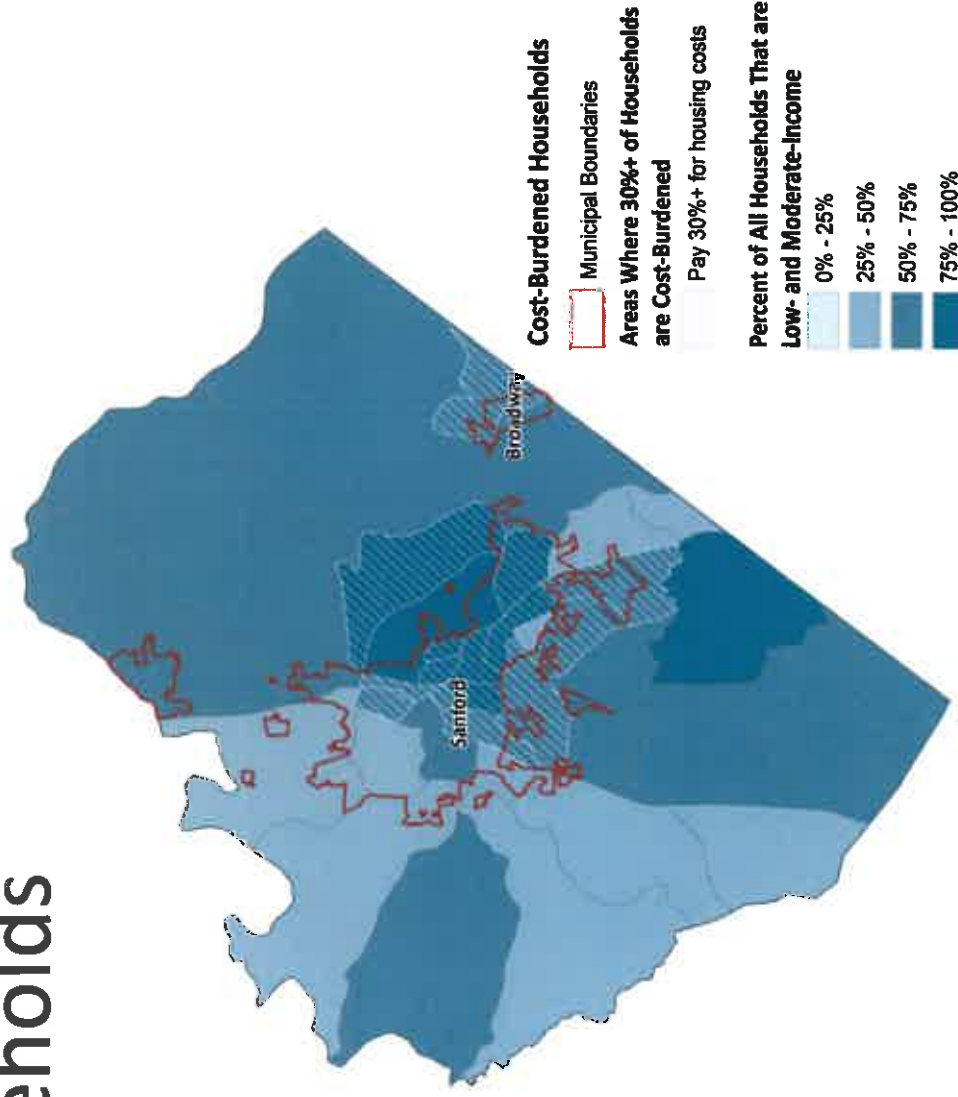
# Cost-Burdened Households

## Who is Cost-Burdened?

- Renters are more housing cost-burdened than owners (43% compared to 20%)
- Non-White households are more likely to rent than own.
- 48.5% of older adult renter households (65+ years) are housing cost-burdened.

## How Many Households are Cost-Burdened?

- Approximately 6,000 households, or 28% of households in the County.
- 60% of the County's Census Block Groups have a quarter or more households that are housing cost-burdened.
- 95% of these areas are majority low- and moderate-income households.

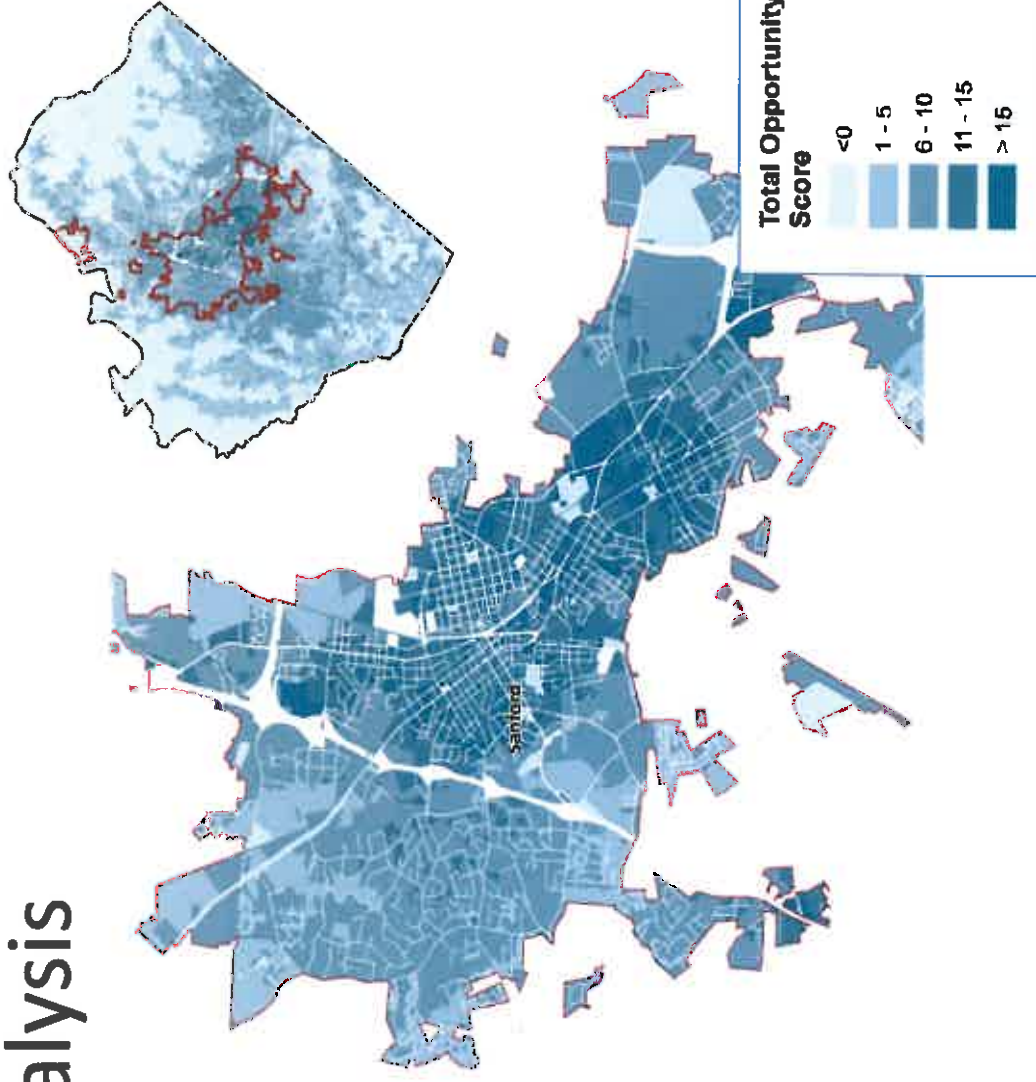


# Opportunity Sites Analysis

TJCOG conducted a parcel-level GIS analysis to identify parcels that may be suitable for **affordable housing development**.

## Criteria included:

- Ownership
- Parcel size
- Development status (vacant or underdeveloped)
- Land value per square foot
- Adjacency to a flood zone
- Water/sewer access
- Proximity to amenities, including sidewalks, grocery stores, shopping, and pharmacies



# Opportunity Sites Analysis

## Twenty sites suitable for LIHTC development (>4 acres)

May be suitable for 4% or 9% Low-Income Housing Tax Credit (LIHTC) development (up to 200 units)

- **7 publicly-owned sites.** Owners include County, City of Sanford, Lee County Board of Education, and Sanford Housing Authority.
- **13 privately-owned sites.** Owners primarily include individuals, as well as several existing rental companies and LLCs. Vacant and lower-density residential sites were prioritized.

## Six sites suitable for infill development (<4 acres)

- Focused on **publicly-owned sites** within East Sanford redevelopment area, including designated Opportunity Zone.
- Owners include County, City of Sanford, Lee County Board of Education, and Sanford Housing Authority.






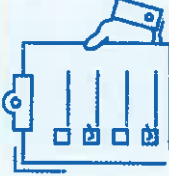
Low-Income Housing Tax Credit Development



Infill Development

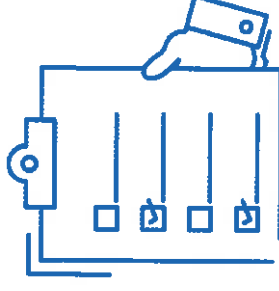
# Housing Goals

Four goals were defined to address housing needs throughout the County.

	<b>Incentivize development of a variety of housing types and price points within priority locations.</b>
	<b>Provide education, resources, and incentives to improve housing conditions and preserve affordable housing options.</b>
	<b>Increase local funding for affordable housing initiatives.</b>
	<b>Improve housing conditions through efficient code enforcement and community outreach.</b>

# Strategies and Best Practices

- **12 total potential strategies**; policy-oriented, program/partnership-oriented, and funding oriented
- Most can be used in both the city/towns and in the county
- Intended to comprehensively address issue from different angles
- No silver bullet; ideal to implement a combination of these strategies over a period of time
- Study includes state- and nationwide best practices and resources for each strategy





**Goal: Incentivize development of a variety of housing types and price points within priority locations.**

**Example Strategies:**

- **Revise Sanford's Unified Development Ordinance to encourage higher-density residential development at a variety of price points and near community amenities.**
- **Discount publicly-owned land for developers who propose to build affordable housing in high-priority redevelopment areas.**





**Goal: Provide education, resources, and incentives to improve housing conditions and preserve affordable housing options.**

**Example Strategies:**

- Educate homeowners and landlords about existing programs and resources to rehabilitate and rent their properties and reduce housing costs.
- Consolidate information about housing resources and programs in online and paper formats.
- Provide property tax incentives for owners that make needed repairs in exchange for affordability restrictions.

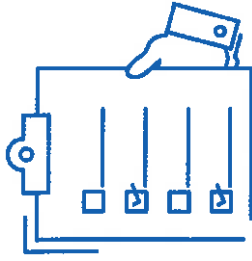


## Goal: Increase local funding for affordable housing initiatives.

### Example Strategies:

- Supplement funding for affordable housing preservation and creation by using general obligation bonds.
- Capitalize on the increased property values from private development within the county or municipalities and designate tax increment to affordable housing.
- Increase property taxes to create a pool of funds for affordable housing.

## Goal: Improve housing conditions through efficient code enforcement and community outreach.



### Example Strategies:

- Strengthen Minimum Housing Code and continue enforcement strategy.
- Establish a periodic inspection program to target code enforcement in priority areas and address properties with a history of housing violations.
- Provide trainings for tenants and property owners on fair housing laws and procedures to enforce housing quality standards.

# Thank you! Questions?



**Erika Brown**  
Planner II  
Triangle J COG  
ebrown@tjcog.org  
919-558-2700



**Aspen Romeyn, AICP**  
Principal Planner  
Triangle J COG  
aromeyn@tjcog.org  
919-558-



# LEE COUNTY AGENDA ABSTRACT BOARD OF COMMISSIONERS MEETING

ITEM #:  
VI. C.

(Use the Down or Up Arrows to move between fields of the Form)

**MEETING DATE:** May 20, 2019

**SUBJECT:** Recommendation by the Lee County Transportation Committee (LCTC) on the Ranking of the Lee County Transportation Projects to Submit to Triangle Area Planning Organization's (TARPO) RTCC Subcommittee

**DEPARTMENT:** Sanford/Lee County Planning and Development

**CONTACT PERSON:** David Montgomery, Senior Planner

**TYPE:**  Consent Agenda  Action Item  Public Hearing  Information

REQUEST	Consent to forward the Lee County Transportations Committee's Recommendation to TARPO
BUDGET IMPACT	No
ATTACHMENTS	Yes
PRIOR BOARD ACTION	No
RECOMMENDATION	The LCTC recommends the ranking be forwarded as presented to TARPO's RTCC Subcommittee.

### SUMMARY

For the purposes of determining priorities for NCDOT funding in the future, as carried out through the State of North Carolina's Strategic Transportation Investments (STI) law, DOT has instituted procedures that are both data-driven and responsive to local needs. As such, the biennial process of ascertaining the objective data portion of the scoring, Prioritization 6.0, is now upon us. It is important to note that TARPO serves all of Lee and Moore Counties, as well as the portions of Chatham and Orange Counties that are not within the planning area of a Metropolitan Planning Organization; therefore, the projects within those counties will compete with one another. Projects with high enough scores will be placed on the 2022-2031 State Transportation Improvement Program (STIP), which identifies transportation projects that NCDOT plans to construct during that time period. Lee County and its municipalities are only submitting projects in 3 transportation modes: Highway, Bike/Ped, Aviation.

TARPO has requested each county develop a prioritized ranking of up to 8 projects in each category with prioritized rankings due to TARPO by May 23, 2019. If you recall, we created the LCTC, a nine-member board, composed of 2 members from each governing board and a representative from the Raleigh Executive Jetport, the Sanford Area Growth Alliance, and the County of Lee Transit System (COLTS), to help with this process. The Committee met on April 11, 2019 and determined a ranking of projects for the three transportation modes. Ranking of projects was based upon need and previous scoring. Please see attached Spreadsheet of Lee County Projects and LCTC Ranking of Projects for details on the recommended projects.

Moving forward, the RTCC Subcommittee will narrow the list to 23 projects for all four counties combined in each Transportation Mode to submit for scoring.

**Highway Projects**

SPOT ID	Mode	Highest Tier	County	Description	Total Cost	Cost to NCDOT	FARPO %	Regional Impact TOTAL	Division Needs TOTAL	Notes	LCFE Ranking	
	Highway		Lee	NC 87 - improvements to intersection in front of Carolina Trace						new project	1	
	Highway		Lee	Colon Road from US1 to 15/501 - Widen and extend to 15/501						new project	2	
	Highway		Lee	15/501 & Deep River Rd Intersection - Signalization						new project	3	
H1170749	Highway	Statewide	Lee	US 1 at NC 42 (Wicker St) - Improve intersections at US 1 on/off ramps terminals for NC 42 (Wicker St). Possibly roundabouts, but open to other possibilities.	\$10,800,000.00	\$ 10,800,000.00	100	40.36	28.04	Staff recommends moving supports for bridge or replace bridge as an alternative	4	
				New Road connecting Broadway Road/421 Bypass partial cloverleaf south to the Ashby Rd/Highway 421/87 intersection								
H1170591	Highway	Division	Lee	SR 1136/1240 (Wilson Rd) from NC 87 (Homer Blvd) to SR 1239 (Industrial Dr) - Widen to multilanes.	\$11,000,000.00	\$ 11,000,000.00	100		15.66	new project	5	
				SR 1423/1483 (Fairrell Rd/Rod Sullivan Rd) from US 1 to Raleigh Executive Jetport entrance - Modernize, and realign intersection at SR 1423 and SR 1483 to provide direct connection between US 1 and the airport. Improve railroad bridge on SR 1483.								6
H1170747	Highway	Division	Lee	Jonesboro Bypass - NC 78 (Tramway Rd) from (Lemon Springs Rd) to Wilson Road - widen and find alternate route	\$7,000,000.00	\$7,000,000.00	100		10.36		7	
	Highway		Lee							new project	8	

**Bike/Ped Projects**

SPOT ID	Mode	Highest Tier	County	Description	Total Cost	Cost to NCDOT	TARPO%	Division Needs TOTAL	Notes	LCTC Ranking
	Bike-Ped	Division	Lee	7th Street from Weatherspoon St. to Bragg Blvd. (Road Diet & Sidewalks)					new project	1
	Bike-Ped	Division	Lee	Wicker St. from Horner Blvd. to Carthage St. (Road Diet & Sidepath)					new project	2
B171464	Bike-Ped	Division	Lee	US 1 Business (Hawkins Ave) from US 1 Business (Carthage St) to SR 1406 (Burns Dr) - Construct sidewalks and bike lanes on a portion of Hawkins Ave. Construct multi-use sidepath on remaining portion.	\$1,765,000.00	\$1,412,000.00	100	29.66		3
B171473	Bike-Ped	Division	Lee	SR 1100 (Spring Lane) from SR 1560 (Weatherspoon St) to York Place - Construct multi-use sidepath.	\$2,182,000.00	\$1,745,600.00	100	29.03		4
	Bike-Ped	Division	Lee	Hill Ave. from Horner Blvd. to Hawkins Ave. (Sidewalk & Bike Lanes)					new project	5
	Bike-Ped	Division	Lee	Bragg Blvd. from OT Sloan Park to McIver St. (Sidewalks or Sidepath)					new project	6
	Bike-Ped	Division	Lee	Carbonton Rd. from Carthage St. to Currie Drive (Sidepath)					new project	7
B171472	Bike-Ped	Division	Lee	SR 1515 (3rd St) from SR 1560 (Weatherspoon St) to NC 87 (Horner Blvd) - Construct/improve sidewalks, ramps, and railroad crossing. Add bike lanes through road diet.	\$423,000.00	\$ 338,400.00	100	28.33		8

**Aviation**

ID	Mode	Highest Tier	County	Description	Total Cost
A172214, ID 3883, ID 3882	Aviation	Division	Lee	West side taxi lane connection for t-hangar taxilanes, t-hangar taxi-lanes rehab	\$3,160,000
ID 3691	Aviation	Division	Lee	Runway 21 approach clearing	\$1,550,000
ID 4134, ID 4133	Aviation	Division	Lee	Wash, fuel, run-up area, fuel truck parking	\$2,920,000
ID 3687, ID 3688	Aviation	Division	Lee	Runway 3,21, by-pass taxiway	\$1,235,000
ID 4132	Aviation	Division	Lee	South-side site prep for hangar development	\$2,000,000
ID 3881	Aviation	Division	Lee	T-Hangar (15) building	\$900,000
ID 3877	Aviation	Division	Lee	Wildlife protection fence	\$1,050,000
				East side development	\$6,925,000





ITEM #:

VI. D.

## LEE COUNTY AGENDA ABSTRACT BOARD OF COMMISSIONERS MEETING

(Use the Down or Up Arrows to move between fields of the Form)

**MEETING DATE:** May 20, 2019

**SUBJECT:** Update from Sanford Area Growth Alliance

**DEPARTMENT:** Economic Development

**CONTACT PERSON:** Michael Smith, CEO SAGA

**TYPE:**  Consent Agenda  Action Item  Public Hearing  Information

<b>REQUEST</b>	Receive update from SAGA
<b>BUDGET IMPACT</b>	N/A
<b>ATTACHMENTS</b>	N/A
<b>PRIOR BOARD ACTION</b>	N/A
<b>RECOMMENDATION</b>	Receive update from SAGA
<b>SUMMARY</b>	

SAGA's CEO, Michael Smith will provide to the Board of Commissioners an overview of SAGA's Plan of work including:

- 1) Marketing Sanford, Broadway and Lee County
- 2) New business recruitment
- 3) Existing industry
- 4) Small business growth and expansion
- 5) Education and workforce
- 6) Quality of life advocacy
- 7) Product development
- 8) Events
- 9) Visitor Services
- 10) Agriculture



# LEE COUNTY AGENDA ABSTRACT BOARD OF COMMISSIONERS MEETING

ITEM #:  
VI. E.

(Use the Down or Up Arrows to move between fields of the Form)

**MEETING DATE:** May 20, 2019

**SUBJECT:** Resolution Supporting NC Carolina CORE

**DEPARTMENT:** Administration/SAGA

**CONTACT PERSON:** Dr. John Crumpton/Michael Smith

**TYPE:**  Consent Agenda  Action Item  Public Hearing  Information

REQUEST	To adopt the resolution supporting the NC Carolina CORE
BUDGET IMPACT	N/A
ATTACHMENTS	Resolution
PRIOR BOARD ACTION	N/A
RECOMMENDATION	To adopt the resolution supporting the NC Carolina CORE
SUMMARY	

The County has been asked to adopt the attached resolution supporting the NC Carolina CORE. The CORE is a corridor between Winston-Salem and Fayetteville that has four megasites that offer industrial sites and mixed use developments.



## **RESOLUTION TO SUPPORT THE NORTH CAROLINA CAROLINA CORE**

**WHEREAS**, Highway 421 is the next engine for economic growth in the center of North Carolina; and,

**WHEREAS**, We are an emerging megasite corridor between Winston Salem, Greensboro, High Point and Fayetteville at the heart of North Carolina; and,

**WHEREAS**, The development of four megasites, plus industrial sites, urban research parks and mixed use developments, present large scale economic transformation opportunity in the Carolina CORE; and,

**WHEREAS**, Combining these megasites with a labor shed of more than one million workers fueled by the innovation mindset of more than thirty colleges and universities positions the Carolina CORE globally as a compelling site for industry; and,

**WHEREAS**, The public private sector have invested hundreds of millions of dollars in infrastructure, sites and higher education, which will support economic growth in the Carolina CORE like RTP over the last fifty years; and,

**WHEREAS**, This is the single largest opportunity for incremental and transformational growth in North Carolina; and,

**WHEREAS**, The Carolina CORE will brand and market the Highway 421 corridor as a vision for Central North Carolina to include signage along the corridor; and,

**NOW, THEREFORE, BE IT RESOLVED** That the Lee County Board of Commissioners, through adoption of this resolution, supports the efforts of the NC Carolina CORE.

**Adopted this the 20<sup>th</sup> day of May, 2019.**

---

**Amy M. Dalrymple, Chair**  
**Lee County Board of Commissioners**

**ATTEST:**

---

**Whitney Parrish, Deputy Clerk**  
**County Attorney**

# NC CAROLINA CORE YOUR NEXT BIG MOVE

([HTTPS://NCCAROLINACORE.COM](https://nccarolinacore.com))



## WHY THE CORE?

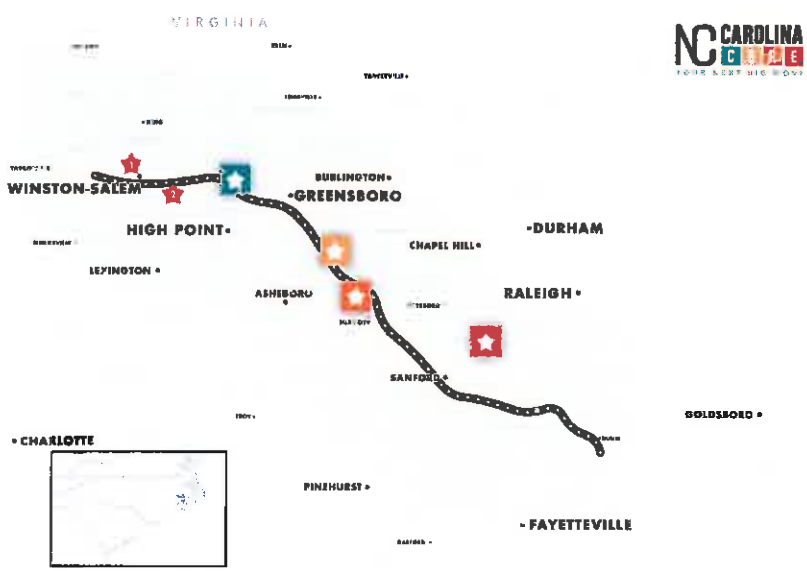
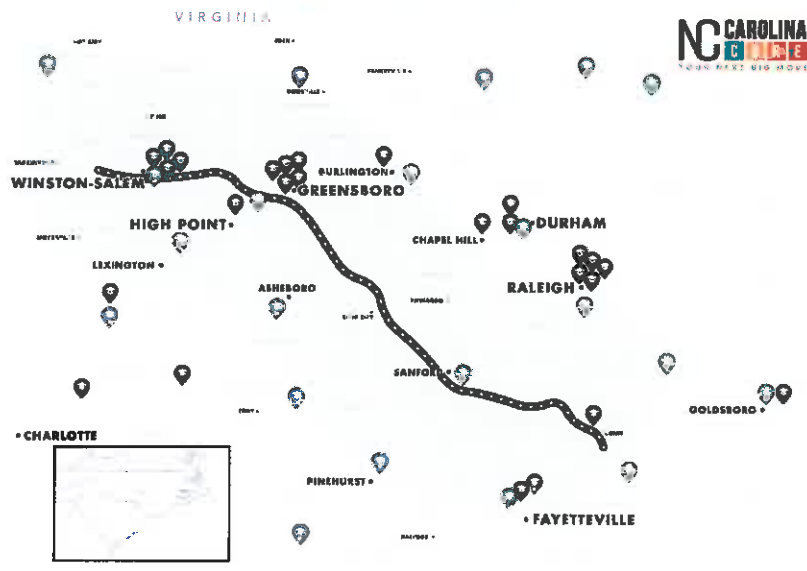
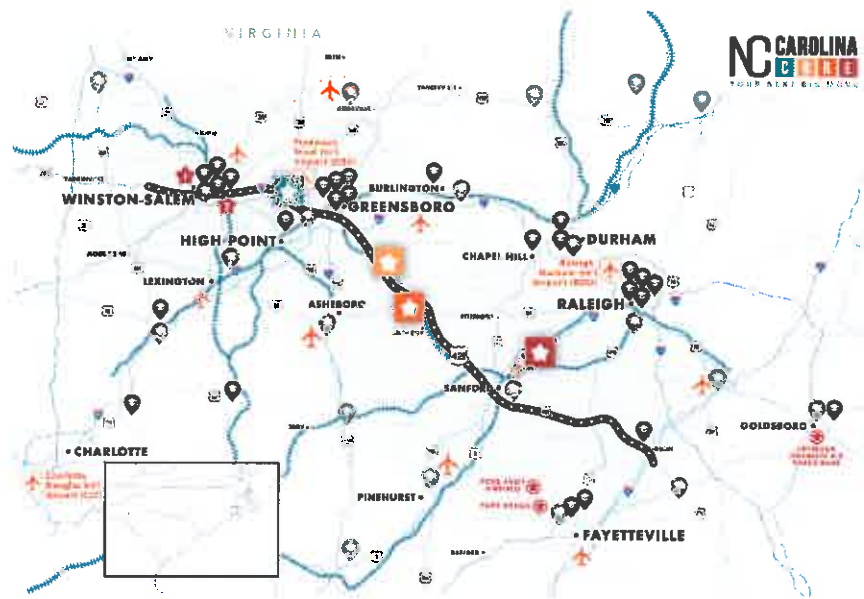
### A Corridor Rich with Opportunity

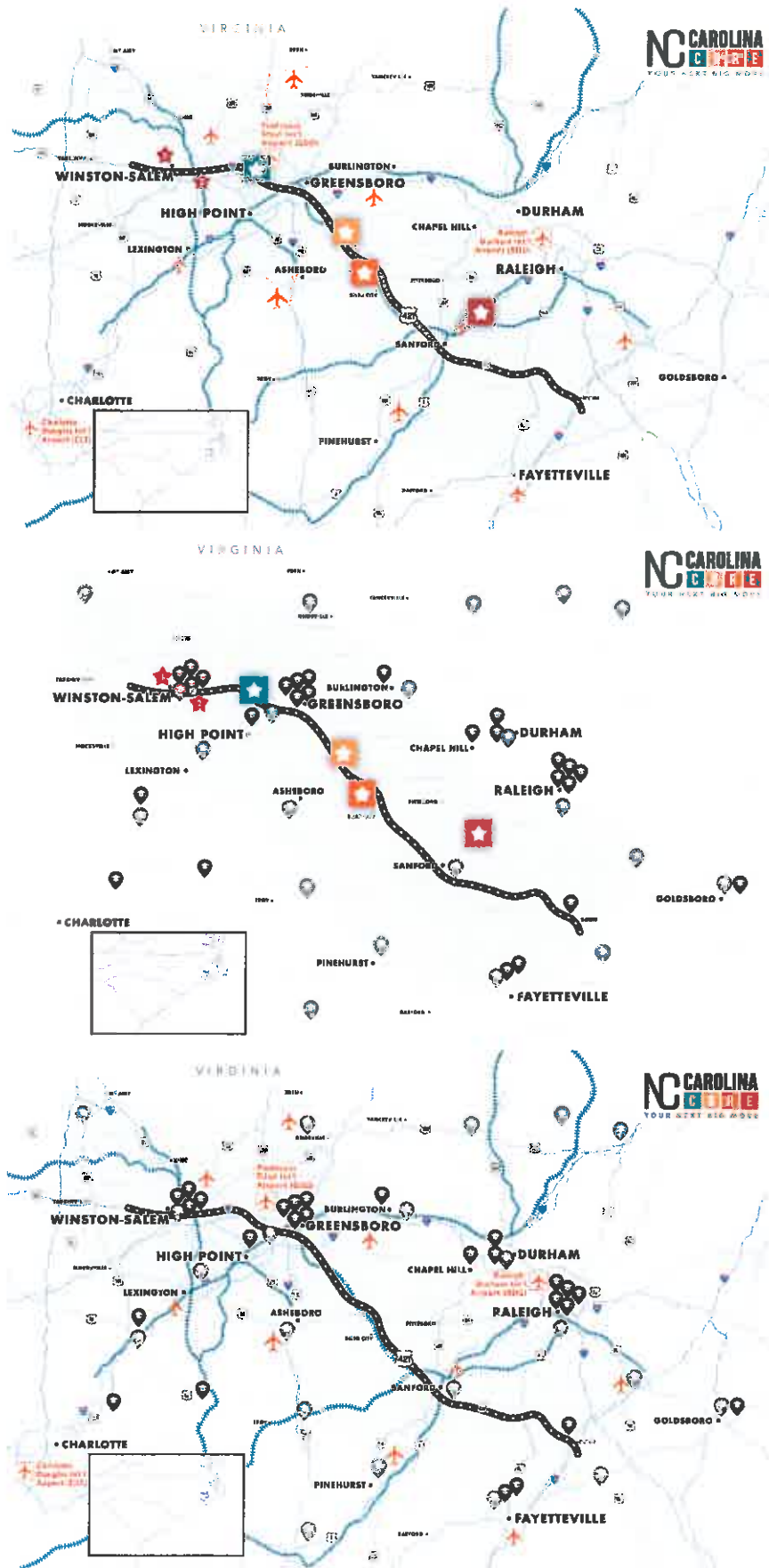
We are a corridor between Winston-Salem and Fayetteville at the heart of North Carolina with four new megasites of 7,200 acres of certified land that offer advanced manufacturers room to grow, as well as many other industrial sites, urban research parks and mixed-use developments.

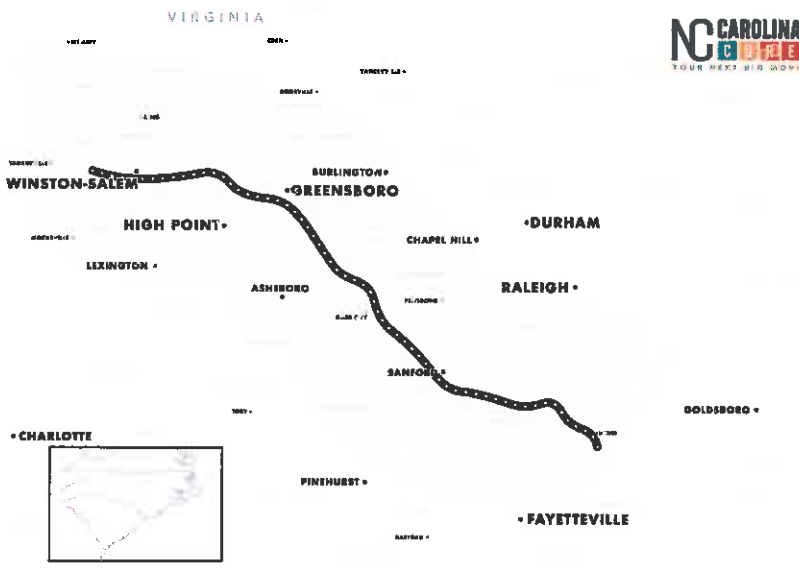
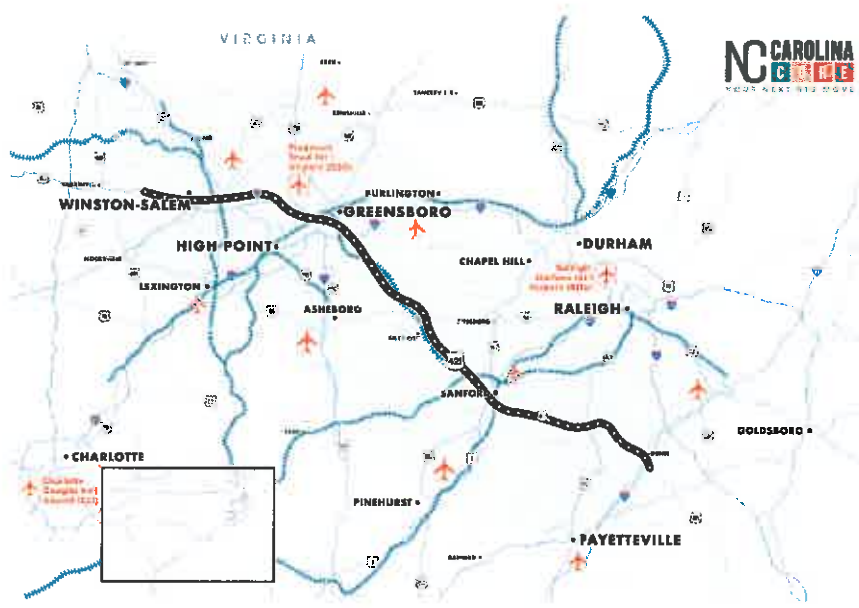
We are ready for the future with a skilled workforce born of a rich manufacturing heritage and fueled by the innovation mindset of more than 30 colleges and universities in the region.

We are in the middle of a state that is consistently ranked as one of the best places to do business in the nation with low costs, competitive incentives and first-rate infrastructure to access the world.

WE ARE THE CAROLINA CORE.









ITEM #:  
VI. F.

# LEE COUNTY AGENDA ABSTRACT BOARD OF COMMISSIONERS MEETING

(Use the Down or Up Arrows to move between fields of the Form)

**MEETING DATE:** May 20, 2019

**SUBJECT:** Consider the attached contract with the Sanford Area Growth Alliance

**DEPARTMENT:** Administration

**CONTACT PERSON:** Whitney Parrish/John Crumpton

**TYPE:**  Consent Agenda  Action Item  Public Hearing  Information

REQUEST	To consider the attached contract with SAGA for FY2019-2020
BUDGET IMPACT	\$322,875
ATTACHMENTS	Contract for FY2019-2020
PRIOR BOARD ACTION	Original contract was adopted in October 2014 and has been modified and amended a few times since
RECOMMENDATION	Pleasure of the Board
<b>SUMMARY</b>	

In October of 2014, Lee County executed a contract for economic development services with the Sanford Lee County Partnership for Prosperity. Since 2014, the County has continued to fund the SLCPP for these services. The SLCPP has also started doing business as the Sanford Area Growth Alliance. There were modifications and changes made to the contract last fiscal year and those modifications remain in this contract. The Board of Directors has been updated based on a list provided by SAGA.

We will hold a public hearing on the expenditures for SAGA on June 3, 2019, at the same time as we hold our budget public hearing. After the public hearing the Board will be asked to vote on the agreement.



This CONTRACT made and entered into this the \_\_\_\_\_ day of \_\_\_\_\_, 2019, by and between the County of Lee, one of the 100 counties of the State of North Carolina and a body politic and corporate, hereinafter referred to as COUNTY, and the Sanford-Lee County Partnership for Prosperity, doing business as Sanford Area Growth Alliance, a non-profit corporation organized and existing under the laws of the State of North Carolina, hereinafter referred to as SAGA.

WITNESSETH

WHEREAS, Chapter 158 of the North Carolina General Statutes authorizes counties to engage in economic development activities; and,

WHEREAS, North Carolina General Statute §153A-449 authorizes counties to contract with and appropriate money to a corporation to carry out any public purpose that a county is authorized by law to perform; and,

WHEREAS, it is the desire of the Lee County Board of Commissioners that the County should engage in economic development activities and that SAGA should be employed to undertake such activities on behalf of the County; and,

WHEREAS, SAGA, by action of its Board of Directors, has indicated its willingness to perform such activities on behalf of the County; and,

WHEREAS, both parties desire a written memorandum of their agreement.

NOW, THEREFORE, in consideration of the premises, the sums to be paid, and the mutual promises herein set out, the parties have mutually agreed as follows:

1. County hereby engages SAGA to carry out a program of economic development in keeping with the authority granted to it by Chapter 158 of the North Carolina General Statutes and SAGA accepts such engagement and promises to perform and carry out such a program.
2. County agrees to make an annual budgetary appropriation to pay for the services provided by SAGA to include the recruitment of new industry, business retention and expansion, marketing of Lee County and business/industrial sites and any other activity which is considered typical for an economic development agency to provide to a County.
3. In consideration for making the annual budgetary appropriation, the County will appoint three members to the SAGA Board of Directors at their sole discretion and consistent with County Policy on Board Appointments. Based on the County's level of funding, the Board of Commissioners will review this on an annual basis.
4. One of the Board members appointed to the Board of Directors shall be an elected County Commissioner. The Board of Commissioners can also elect an alternate Commissioner to serve on the SAGA Board of Directors. The alternate Commissioner can attend all meetings of the Board of Directors but shall not vote on any matters, unless the appointed Commissioner is absent.

5. The other members appointed to the SAGA Board of Directors by the Board of Commissioners shall be private citizens.
6. Lee County and SAGA agree to participate and plan an annual meeting that will include the City of Sanford and the Town of Broadway. At this meeting, SAGA will deliver a report to all three boards detailing the activities of SAGA. SAGA or any of the three local governments may propose additional meetings as needed. In addition, on an annual basis, SAGA will include an annual economic outlook report as well as a review of the successes achieved by SAGA. SAGA will also provide a monthly written report to the Lee County Board of Commissioners as an update on the activities of SAGA. The SAGA Director and/or the Economic Development Director will appear before the County Commissioners to give updates and seek support for projects in the County as needed.
7. Continue to operate a joint community and economic development office in the Old Buggy Factory in downtown Sanford in order to foster cooperation amongst Lee County, the City of Sanford and the Town of Broadway. The Old Buggy Factory will continue to be a “one stop shop” for the economic development growth of the community, as long as all parties agree to the continued relationship.
8. SAGA agrees to the following:
  - a. To select, supervise and evaluate the performance of the SAGA staff to ensure that the delivery of an effective Economic Development Program. SAGA will provide an updated list of staff to the Clerk to the Board of Commissioners annually or anytime there is a change in staff.
  - b. To direct the Economic Development staff to develop and implement an effective economic development program. The SAGA Board of Directors will monitor the results of the program and develop action plans to help develop job growth and investment in Lee County. Addendum A includes a list of current SAGA Board of Directors.
  - c. To follow the County’s Economic Development Investment Guidelines in dealing with incentives to industry and businesses. The Executive Director will take the project before the SAGA Board of Directors or Executive Board for a recommendation. All recommendations, favorable or unfavorable, will be forwarded to the Lee County Board of Commissioners for their consideration, once recommended by the SAGA Economic Development Committee and/or the SAGA Executive Board of Directors and/or the SAGA Board of Directors.
  - d. To cooperate fully with all agencies located in Lee County whose goal is to grow the Town of Broadway, City of Sanford, and Lee County. These groups include, but are not limited to, the Sanford Area Chamber of Commerce, Lee County Board of Education, City of Sanford Downtown Development Corp., and Central Carolina Community College.
  - e. To keep accurate, thorough, and detailed records of the expenditure of funds appropriated by the County for economic development. Annually, SAGA will provide an annual budget request to the County Manager. The annual budget request will be the

financial plan that addresses SAGA's efforts to recruit new industry and retain existing industry. The budget is due to the County Manager by March 15<sup>th</sup> of each year.

- f. Saga will provide an audit every other year to the Board of Commissioners. The years an audit is not provided, their auditor will conduct a financial review and a copy will be provided to the Commissioners. Beginning in Fiscal Year 2015-2016 a financial review will be conducted, then Fiscal Year 2016-2017 an audit will be conducted; for Fiscal Year 2017-2018 a financial review will be conducted. Either the financial report or the audit will be due to the Commissioners by December 31<sup>st</sup> of each year.
  - g. SAGA will establish an audit committee that will work with SAGA's auditor to complete the annual audit. The audit committee currently consists of the treasurer of SAGA Board of Directors, the Lee County Manager, the Town of Broadway Manager and the City of Sanford Manager.
  - h. SAGA may submit an annual Capital Improvements Plan to the Board of Commissioners which outlines the infrastructure needs of the County for economic development purposes over the next five (5) year period. Any capital improvement item over \$500,000.00 which the SAGA Board of Directors wants the Board of Commissioners to consider must go through the CIP process. Any capital funding less than \$500,000.00 will be included in SAGA's annual budget request submitted to the Board of Commissioners. SAGA can, during the fiscal year, come and request additional capital funding if projects present themselves that will to economic development and growth in the County.
  - i. To apprise the Board of Commissioners and the County's Clerk of all job announcements before media is contacted for the purpose of a public announcement.
  - j. To cooperate fully with the County's auditors in their annual examination of county expenditures.
9. The annual appropriation to SAGA in FY 2019-2020 will be \$322,875.00. The appropriation of funds by the County for subsequent fiscal years and the acceptance of the same by SAGA shall renew or extend this agreement for such fiscal year. As required by the Local Government Budget Fiscal Control Act, this agreement is subject to the annual appropriation clause of the Act.
10. This agreement becomes effective July 1, 2019.

IN WITNESS WHEREOF, County has caused this instrument to be executed in its name by the Chairman of the Board of Commissioners for said County and attested by the Clerk of said board, and its County seal to be affixed, all by authority of its Board of Commissioners, first duly given; and SAGA has caused this instrument to be executed in its name by its President for said County and attested by its Secretary, and its corporate seal to be affixed, all by authority of its Board of Directors, first duly given, both effective as of the \_\_\_\_\_ day of \_\_\_\_\_, 2019.

LEE COUNTY BOARD OF COMMISSIONERS

By: \_\_\_\_\_

\_\_\_\_\_  
Jennifer Gamble  
Clerk to the Board

SANFORD AREA GROWTH ALLIANCE

By: \_\_\_\_\_

ATTEST:

\_\_\_\_\_  
Secretary

## Addendum A

The SAGA Board of Directors currently consists of:

1. Cameron Sharpe-Board of Commissioners
2. Carol Carlson-Richard M. Carlson, CPA
3. Faye Cameron-Broadway Realty
4. Chet Mann-Mayor of Sanford
5. Sam Gaskins-Sanford City Council
6. Donald Andrews-Mayor of Broadway
7. Tina Gross-Gross Farms
8. Bill Murphy-Rodeco
9. Charlie Welborn-DMJ & Co., PLLC
10. Jeff Lamb-STI Polymer
11. Kim Sutton-Red Wolf Company
12. Jimmy Keen-BB&T
13. Carter Keller-Carolina Commercial Contractors, LLC & The Oaks
14. Brad Crace-Caterpillar
15. Spencer Thomas-Central Carolina Hospital
16. Donnie Oldham-Simpson Construction
17. David Foushee-First Bank
18. Robin Perkins-Frontier Spinning Mills
19. Kirk Bradley-Lee-Moore Capital Company
20. Dr. Jim Foster-Lee County Farm Bureau
21. Donnie Oldham-Sanford Contractors
22. David Marsh-Sanford Honda
23. Skip London-Static Control Components Inc.
24. Doug Gay-Sanford Chamber of Commerce, Chair
25. David Caplan-Farm Bureau
26. Jerry Pedly-Mertek Solutions Inc.
27. Julian Philpott-Central Carolina Community College
28. Patrick Kelly-Lee County Board of Education
29. Ron Hewitt-TSWDB
30. Bill Wilson III-Wilson, Reives & Silverman, PLLC
31. April Montgomery-Reap NC, LLC
32. Daniel Simmons-Boys and Girls Club
33. Jeff Yow-Chatlee
34. Jeanine Morton-Theraplay

### Ex-Officio Members

1. Lisa Chapman-President, CCCC
2. Andy Bryan-Superintendent, Lee County Board of Education
3. Bill Stone-Director, NC Cooperative Extension Lee County
4. Bob Huets-Director, Raleigh Executive Jetport Authority
5. John Crumpton-Lee County Manager
6. Hal Hegwer-City of Sanford Manager
7. Dustin Kornegay-Town of Broadway Manager



ITEM #:

VI. G.

## LEE COUNTY AGENDA ABSTRACT BOARD OF COMMISSIONERS MEETING

(Use the Down or Up Arrows to move between fields of the Form)

**MEETING DATE:** May 20, 2019

**SUBJECT:** FY 2019-2020 Recommended Budget Presentation

**DEPARTMENT:** Finance

**CONTACT PERSON:** Dr. John A. Crumpton, County Manager

**TYPE:**  Consent Agenda  Action Item  Public Hearing  Information

<b>REQUEST</b>	Presentation of the Recommended FY 2019-2020 Budget
<b>BUDGET IMPACT</b>	N/A
<b>ATTACHMENTS</b>	The budget book will be delivered by Friday, May 17 at 5:00 pm.
<b>PRIOR BOARD ACTION</b>	N/A
<b>RECOMMENDATION</b>	Set the public hearing for 6:00 pm, June 3, 2019 at the Lee County Government Center
<b>SUMMARY</b>	

In accordance with the North Carolina Budget and Fiscal Control Act, the County Manager (Budget Officer) is required to submit the recommended FY 2019-2020 budget to the Board of Commissioners prior to June 1 of each year.



ITEM #:

VI. H.

## LEE COUNTY AGENDA ABSTRACT BOARD OF COMMISSIONERS MEETING

(Use the Down or Up Arrows to move between fields of the Form)

**MEETING DATE:** May 20, 2019

**SUBJECT:** Approval of engagement letter from Thompson, Price, Scott, Adams & Co, P.A. for an attest engagement based on the County's participation in the LGERS retirement system

**DEPARTMENT:** Finance

**CONTACT PERSON:** Lisa G. Minter, Assistant County Manager/Finance Director

**TYPE:**  Consent Agenda  Action Item  Public Hearing  Information

<b>REQUEST</b>	Approval of engagement letter from Thompson, Price, Scott, Adams & Co, P.A. for an attest engagement based on the County's participation in the LGERS retirement system
<b>BUDGET IMPACT</b>	\$4,850 in the FY 19-20 Budget
<b>ATTACHMENTS</b>	Engagement letter from Thompson, Price, Scott, Adams & Co, P.A.
<b>PRIOR BOARD ACTION</b>	N/A
<b>RECOMMENDATION</b>	Approve the engagement letter from Thompson, Price, Scott, Adams & Co, P.A.

### SUMMARY

Each year employer participants in both the Local Government Employee Retirement System (LGERS) and the Teachers and State Employees Retirement Systems (TSERS) are selected by the Office of State Auditor to have an attest prepared by a CPA on the census data for members of the pension plan. We found out at the end of April that Lee County has been selected this year and received the engagement letter from our auditors, Thompson, Price, Scott, Adams & Co, P.A. on May 2, 2019. The fee for this engagement required by the Office of State Auditor is \$4,850. This fee will be included in the FY 19-20 budget.

*Thompson, Price, Scott, Adams & Co., P.A.*

P.O. Box 398

1626 S Madison Street

Whiteville, NC 28472

Telephone (910) 642-2109

Fax (910) 642-5958

Alan W. Thompson, CPA

R. Bryon Scott, CPA

Gregory S. Adams, CPA



April 29, 2019

To the Board of Commissioners  
Lee County, North Carolina

We are pleased to confirm our understanding of the nature and limitations of the services we are to provide for Lee County.

We will examine the information requested by the Office of State Auditor, which includes reviewing the census data of Lee County as of December 31, 2018. The objectives of our examination are to (1) obtain reasonable assurance about whether the census data that was entered into the State retirement system is free from material misstatement based on information provided by the Office of the State Auditor; and (2) to express an opinion as to whether the census data is presented, in all material respects, in accordance with criteria set by the Retirement System's Handbook revised January 2018.

Our examination will be conducted in accordance with attestation standards established by the American Institute of Certified Public Accountants. Accordingly, it will include examining, on a test basis, your records and other procedures to obtain evidence necessary to enable us to express our opinion. We will issue a written report upon completion of our examination. Our report will be addressed to management and the Board of Commissioners of Lee County. We cannot provide assurance that an unmodified opinion will be expressed. Circumstances may arise in which it is necessary for us to modify our opinion. If our opinion is other than unmodified, we will discuss the reasons with you in advance. If, for any reason, we are unable to complete the examination or are unable to form or have not formed an opinion, we may decline to express an opinion or may withdraw from this engagement.

Because of the inherent limitations of an examination engagement, together with the inherent limitations of internal control, an unavoidable risk exists that some material misstatements may not be detected, even though the examination is properly planned and performed in accordance with attestation standards.

This report is intended solely for the use of the Office of the State Auditor and Lee County management, and should not be used by anyone other than these specified parties. This engagement is solely to assist the Office of the State Auditor in offering an opinion on the State's Comprehensive Annual Financial Report.

Members

American Institute of CPAs - N.C. Association of CPAs - AICPA Division of Firms



We will plan and perform the examination to obtain reasonable assurance about whether the census data provided to the NC retirement system is free from material misstatement, based on criteria provided by the Office of the State Auditor. Our engagement will not include a detailed inspection of every transaction and cannot be relied on to disclose all material errors, or known or suspected fraud or noncompliance with laws or regulations, or internal control deficiencies that may exist. However, we will inform you of any known and suspected fraud and noncompliance with laws or regulations, internal control deficiencies identified during the engagement, and uncorrected misstatements that may come to our attention unless clearly trivial.

We understand that you will provide us with the information required for our examination and that you are responsible for the accuracy and completeness of that information. We may advise you about appropriate criteria, but the responsibility for the subject matter remains with you.

You are responsible for the presentation of the census data in accordance with criteria set by the Retirement System's Handbook revised January 2018; and for selecting the criteria and determining that such criteria are appropriate for your purposes. You are responsible for, and agree to provide us with, a written assertion about whether the census data is presented in accordance with guidelines set by the NC Retirement System. Failure to provide such an assertion will result in our withdrawal from the engagement. You are also responsible for providing us with (1) access to all information of which you are aware that is relevant to the measurement, evaluation, or disclosure of the subject matter; (2) additional information that we may request for the purpose of the examination; and (3) unrestricted access to persons within the entity from whom we determine it necessary to obtain evidence.

At the conclusion of this engagement, you agree to provide us with certain written representations in the form of a representation letter.

We may from time to time, and depending on the circumstances, use third-party service providers in serving your account. We may share confidential information about you with these service providers, but we remain committed to maintaining the confidentiality and security of your information. Accordingly, we maintain internal policies, procedures, and safeguards to protect the confidentiality of your personal information. In addition, we will secure confidentiality agreements with all service providers to maintain the confidentiality of your information, and we will take reasonable precautions to determine that they have appropriate procedures in place to prevent the unauthorized release of your confidential information to others. In the event that we are unable to secure an appropriate confidentiality agreement, you will be asked to provide your consent prior to the sharing of your confidential information with the third-party service provider. Furthermore, we will remain responsible for the work provided by any such third-party service providers.

Alan W. Thompson, CPA is the engagement partner and is responsible for supervising the engagement and signing the report or authorizing another individual to sign it.

We plan to begin our procedures on approximately May 13, 2019 and, unless unforeseeable problems are encountered, the engagement should be completed by October 1, 2019. We estimate that our fees for these services will be \$4,850. The fee estimate is based on anticipated cooperation from your personnel and the assumption the unexpected circumstances will not be encountered during the engagement. If significant additional time is necessary, we will discuss it with you and arrive at a new fee estimate before we incur the additional costs. Our invoices for these fees will be rendered each month as work progresses and are payable on presentation. In

accordance with our firm policies, work may be suspended if your account becomes 90 days or more overdue and will not be resumed until your account is paid in full. If we elect to terminate our services for nonpayment, our engagement will be deemed to have been completed upon written notification of termination even if we have not completed our report. You will be obligated to compensate us for all time expended and to reimburse us for all out-of-pocket expenditures through the date of termination.

We appreciate the opportunity to assist you and believe this letter accurately summarizes the significant terms of our engagement. If you have any questions, please let us know. If you agree with the terms of our engagement as described in this letter, please sign the enclosed copy and return it to us.

Very truly yours,

*Thompson, Price, Scott, Adams & Co., P.A.*

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*Thompson, Price, Scott, Adams & Co., P.A*  
*Whiteville, North Carolina*  
April 29, 2019

**RESPONSE:**

This letter correctly sets forth the understanding of Lee County, North Carolina.

By: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

By: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

Cc: Board of Commissioners

This instrument has been preaudited in the manner required by the Local Government Budget and Fiscal Control Act.

\_\_\_\_\_  
Lisa G. Minter, Finance Director

\_\_\_\_\_  
Date



ITEM #:  
**VII. A.**

## LEE COUNTY AGENDA ABSTRACT BOARD OF COMMISSIONERS MEETING

(Use the Down or Up Arrows to move between fields of the Form)

**MEETING DATE:** May 20, 2019

**SUBJECT:** County Manager's Monthly Report for May 2019.

**DEPARTMENT:** Administration

**CONTACT PERSON:** Dr. John Crumpton, County Manager

**TYPE:**     Consent Agenda     Action Item     Public Hearing     Information

<b>REQUEST</b>	County Manager's Monthly Report for the month of May 2019
<b>BUDGET IMPACT</b>	N/A
<b>ATTACHMENTS</b>	1) Monthly Report for May 2019 2) Monthly Tax Collections Report for April 2019 3) TRC Report for May 2019 4) Monthly Permit Report for April 2019
<b>PRIOR BOARD ACTION</b>	N/A
<b>SUMMARY</b>	

The County Manager has provided his monthly report for the month of May 2019.

## **County Manager's Report – May 20, 2019**

### **Ongoing Projects**

**Kiwanis Park Improvements (Splash Pad)** – The City of Sanford is making excellent progress on this project. The timeline for an August completion is still in place. I have attached two pictures of work going on at the site. In addition, the Board needs to be aware that the park will have some parking issues in the coming weeks. Citizens can use the Carbondon Road entrance to access the walking trails. Below is a list of items they finished recently:

- Fabric underlayment and the crushed aggregate base course (CABC) for the entire parking lot has been completed.
- Demolition of the exiting pavement and rough grading of the new main entry drive turnaround circle construction has been completed. This area is being “turned over and re-compacted” to try to dry out the existing soils.
- Plumbing underground rough in for the restroom building has completed.
- Wood trusses for the building framing has been fabricated and delivered.
- Stone subgrade for the splash pad has been completed.
- Tree planting/landscaping initiated
- Last remaining piece of the splashpad has been received.
- Playground equipment has been delivered to the service center.

**County Bond Projects** - The NC PARTF grant application for Kiwanis Children's Park Place has been submitted to the State. The decision by the State Authority will determine the number of projects we can complete at this park. Lett Family Park's playground equipment has been ordered. The concession stand at the park by the small field has been cleaned, new HVAC installed, and new park sign installed. Withers Ravenel continues to give updates to the Parks and Recreation Director every other Tuesday regarding progress of design work on the other bond projects. We have asked for an updated timeline as to when the projects will be ready to bid.

### **Other Items**

**Annual Budget Process** – The budget workshop agenda on Monday June 3 contains a discussion on the Lee County School System and Central Carolina Community College budget requests. We have invited the School Superintendent, the Community College President, and any members of their Boards to the meeting. If any of the Commissioners would like to add items to that agenda for discussion, please contact Lisa or me. June 3 is also the scheduled night for the public hearing on the budget at the Commissioners Regular Board meeting, which starts at 6:00 pm. The Board can adopt the budget at any point after the public hearing.

**Tax Revaluation** – The Board of Equalization and Review began hearings on April 10, 2019. The Board of E & R has had weekly meetings scheduled each week since then. The last meeting occurred on Tuesday May 14, 2019. The next meeting is on Monday May 20, 2019. The Board will adjourn from taking new appeals on May 20, 2019, this is the last day a taxpayer may file an appeal to the Board. The Board may have to hold a hearing on May 28, 2019, if needed, for any appeals that are filed on or before May 20, 2019.

**Multi-Sports Complex Meeting** – The committee established to review the Multi-Sport complex plan met on Friday May 17 in the Buggy Factory conference room. Commissioners Dalrymple, Knecht and Sharpe were invited to the meeting. We will give the Commissioners an update from the meeting.

**Legislative Bills of Interest** – **HB 24** - the bill would allow Boards of Education to determine if schools can be used as, polling places is still running through the House. **SB 179** – Parity for First Responders is a bill that would require local government to pay special retirement separation allowance for paid firefighters. The House companion bill was HB 278. This bill was passed as a study bill by the House and is now in the Senate. **HB 76** - School safety omnibus act. Filed Feb 13 2019 is an act to establish school safety requirements to all public schools. **SB 522** – Charter Schools Capital funding. This bill would allow county commissioners to make direct appropriations to charter schools for capital purposes, and authorizes property tax revenue to be spent on this purpose. In the end, the Senate approved the bill, without the capital provision, which the House will now consider. **SB 645** – Broadband Service Infrastructure. **SB 650** – Changes to NC Local Sales Tax Distribution. There are many other bills running that would have impacts on Counties. Please read your legislative briefings that come are sent to you each Friday from the NCACC legislative staff.

## Reports

**Tax Report** – Attached please find the Tax Collection Summary Report for April.

**Parks and Recreation** – Agenda for April.

**Community Development/Activity Summary** – The Technical Review Committee Agenda Memorandum for May.

**Building Inspections Report** – The April Building Inspections Report is attached.

## Upcoming Meetings/Events:

As a reminder, in July, August and September, the Board of Commissioners has scheduled one meeting for each month.

June 3, 2019 – Commissioners Budget Workshop – 4:00 pm

June 3, 2019 – Commissioners Regular Meeting – 6:00 pm

June 17, 2019 – Commissioners Regular Meeting – 6:00 pm.

July 15, 2019 – Commissioners Regular Meeting – 6:00 pm.

August 19, 2019 – Commissioners Regular Meeting – 6:00 pm.

September 16, 2019 – Commissioners Regular Meeting – 6:00 pm.







**DEPARTMENT OF  
TAX  
ADMINISTRATION**

Tel: (919) 718-4661  
P.O. Box 1968  
Sanford, NC 27331

**MEMO**

To: John Crumpton, County Manager  
From: Mary C. Yow, Tax Administrator  
Date: May 1, 2019  
Re: Monthly forced collection efforts report for April 2019

---

<b>April</b>	
Accounts researched	1647
Wage garnishments, Escheats and bank attachments issued	245
Accounts Updated with Collection info	407
April <b>total</b> collections (all)	<b>\$ 244,396.10</b>
April collections for <b>county only</b> (G01)	<b>\$ 152,752.07</b>
Debt Setoff Payments Received	<b>\$6,716.24</b>
60 Notices of Upcoming Foreclosure Sale sent	60
Payment Agreement(s) Implemented	5
Rent Attachment Served	1

**aMEETING**  
**Monday, April 22, 2019**  
**5:30 P.M.**

**Commissioners' Meeting Room**  
**Lee County Government Center**  
**106 Hillcrest Drive, Sanford, NC**

**AGENDA**

- I. Call to Order**
- II. Approval of Minutes**
- III. Additions and/or Approval of Agenda**
- IV. Petitions & Communications (public comment)**
- V. Old Business**
  - A. Kiwanis Family Park Update**
  - B. Master Plan Progress Update**
  - C. Lett Family Park Update**
  - D. Bird Pens at San-Lee Park**
  - E. Consideration of Fees & Charges clarifications.**
- VI. New Business**
  - A. Consider support for canoe/kayak landing at 421 Bridge in Lee County**
- VII. Director's Report**
- VIII. Adjournment-**

## **BACKGROUND NOTES**

### **LCPR COMMISSION MEETING**

**APRIL 22, 2019**

**John W. Payne**

Greetings to all of you! There is a great deal happening with Parks & Recreation now that winter has passed by us. Spring sports, dance recital prep, outdoor education camps, gymnastics events, facility rentals etc. have kept staff plenty busy of late. There's also been a good deal of maintenance, repair, and planning surrounding Lee County's parks and facilities.

Kiwanis Family Park trail remains open to the public. The project seems to be pretty much on schedule in spite of the rain. I'm sure the contractors are anxious for some dry weather to move the project along.

Survey work for the parks master plan has been completed. I have been in contact with WithersRavenel every other Tuesday in regards to progress of plan development. I have also been working with Catherine Renbarger in their office in collecting and preparing paperwork for an NCPARTF grant application for Kiwanis Children's Park (providing the Board of County Commissioners approves the application at their meeting tonight.) Preliminary indications from the regional consultant is that the application will score well and be very competitive. The grant application is due May 1<sup>st</sup>.

Several replacement doors have been ordered for the buildings at Lett Park. Hopefully, those doors will be installed this week. A new park sign has been erected at the park. It turned out very well and is the same color and style of signs at Buchanan Park, Dalrymple Park, and Horton Park. The county received bids for a new playground for the park. Six firms made submittals. The Board of County Commissioners will consider staff recommendation at their meeting tonight.

Bird pens round two is underway. The department re-issued a request for bids for the project after a re-design. Only two bids were received so the project was re-posted. The bid deadline is this Thursday. Hopefully, at least one of those bids will be within budget for the project.

Staff is recommending clarifications on fees and charges for some programs and facility use. Gymnastics fees beyond the 1 ½ hour classes were intended for team members. In a few cases, people were registering for two separate 1 ½ hour classes for a 3 hour rate which was considerably less. Pool usage by swim teams has been clarified by the number of lanes and days/times of usage. It's much easier to calculate and more equitable to the various groups.

There are plans for new boat access ramps along the Deep River. Chad Spivey has been in conversation with state. One is planned for the 15/501 bridge. Another is needed at the 421 bridge. It is requested that the department enter into an agreement for maintenance of the ramp at the 421 bridge which would involve clearing mud and debris from the ramp following storms. This could be accomplished using volunteer groups as it has been done with other existing access points. This project would greatly enhance activity along the Deep River.

I hope to see you at the meeting. Let Judy know your attendance plans. Thanks,

**Permits Monthly Report**  
**From 4/1/2019 To 4/30/2019**

**Electrical Permit**

**Commercial**

Permit #	Location	Sq. Ft.	Valuation	Issued	Contractor	Phone	Owner	District	HRF
ELEC-4-19-32759	912 FIELDS DR SANFORD, NC 27330-	0	0	4/23/2019	LEIVANT ELECTRICAL LLC	(512)350-4019	SCOTT ADDINGTON	City of Sanford	HRF

Number of Electrical Permit: 1  
Valuation Total: \$0.00

**Permits Monthly Report**  
**From 4/1/2019 To 4/30/2019**

**Mechanical Permit**

**Commercial**

Permit #	Location	Sq. Ft.	Valuation	Issued	Contractor	Phone	Owner	District	HRF
MECH-4-19-32757	3408 LEE AVE SANFORD, NC 27330-	0	0	4/03/2019	D & D HVAC INC.	(919)628-2183	JONATHAN & DEANNA H	City of Sanford	

Number of Mechanical Permit: 1

Valuation Total: \$0.00

**Permits Monthly Report  
 From 4/1/2019 To 4/30/2019**

Plumbing Permit									
Commercial									
Permit #	Location	Sq. Ft.	Valuation	Issued	Contractor	Phone	Owner	District	HRF
PLUM-4-19-32758	912 FIELDS DR SANFORD,NC 27330-	0	0	4/17/2019	RONALD MCLYMORE	(919)358-7100	SCOTT ADDINGTON	City of Sanford	
Number of Plumbing Permit: 1									
Valuation Total: \$0.00									
Grand Totals:									
		0 sq ft.	\$0.00	Total Permits Issued: 3					



**PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)  
FOR SANFORD/LEE COUNTY/ BROADWAY**

**BUILDING (NON-RESIDENTIAL)**

**BLDC-000998-2019**

Status: Issued

Application Date: 03/04/2019

Zone:

Additional Info:

Corner Lot: No

Reactivated: No

Description: CELL TOWER UPGRADE

Type: Building (Non-Residential)

Workclass: Alteration

Issue Date: 04/10/2019

Sq Ft: 0

Private Sewer: No

Fire Plan Review Required: No

District: Sanford

Project:

Expiration: 10/07/2019

Valuation: \$15,000.00

Public Sewer: No

Construction Type: I-A

Main Address:

Parcel: 9643-05-2733-00

Last Inspection:

Assigned To:

Public Water: No

Acres: 0.247913

1810 Douglas Dr  
Sanford, NC 27330

Final Date:

Assigned To:

Public Water: No

Acres: 0.247913

**BLDC-001026-2019**

Status: Issued

Application Date: 03/06/2019

Zone:

Additional Info:

Corner Lot: No

Reactivated: No

Description: CELL TOWER UPGRADE

Type: Building (Non-Residential)

Workclass: Alteration

Issue Date: 04/10/2019

Sq Ft: 0

Private Sewer: No

Fire Plan Review Required: No

District: Lee County (Unincorporated)

Project:

Expiration: 10/07/2019

Valuation: \$15,000.00

Public Sewer: No

Subdivision:

Main Address:

Parcel: 9528-90-4220-00

Last Inspection:

Assigned To:

Public Water: No

Acres: 7.83515

7009 Old Jefferson Davis Hwy  
Cameron, NC 28326

Final Date:

Assigned To:

Public Water: No

Acres: 7.83515

**BLDC-001113-2019**

Status: Issued

Application Date: 03/15/2019

Zone: C-2 C-2 General Commercial

Additional Info:

Number of Stories: 1

Public Water: Yes

Subdivision:

Description: SLAB FOR POLAR STATION VENDING MACHINE

Type: Building (Non-Residential)

Workclass: New

Issue Date: 04/04/2019

Sq Ft: 264

Corner Lot: No

Utility/Miscellaneous: Unheated: 264

Acres: 1.41294

District: Sanford

Project:

Expiration: 10/01/2019

Valuation: \$100,000.00

Private Sewer: No

Reactivated: No

Power Co.: DUKE

Main Address:

Parcel: 9642-48-1244-00

Last Inspection:

Assigned To:

Private Well: No

Construction Type: V-A

101 Carbonton Rd  
Sanford, NC 27330

Final Date:

Assigned To:

Private Well: No

Construction Type: V-A

**BLDC-001320-2019**

Status: Complete

Application Date: 04/03/2019

Zone: C-2 C-2 General Commercial

Additional Info:

Number of Stories: 1

Public Sewer: No

Construction Type: V-A

Acres: 22.69

Type: Building (Non-Residential)

Workclass: New

Issue Date: 04/04/2019

Sq Ft: 120

Number of Bathrooms: 1

Private Well: No

Historic District: N/A

Power Co.: DUKE

District: Sanford

Project:

Expiration: 10/14/2019

Valuation: \$13,750.00

Corner Lot: No

Public Water: No

Flood Zone: N/A

Main Address:

Parcel: 9651-98-0533-00

Last Inspection:

Assigned To:

Business: 120

Reactivated: No

Subdivision: N/A

3078 S Homer Blvd  
Sanford, NC 27332

Final Date: 04/17/2019

Assigned To:

Private Sewer: No

Fire Plan Review Required: No

Watershed: N/A



PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

**Description:** ROASTED AND TOASTED - PROPOSED TO RELOCATE ROASTED AND TOASTED KIOSK FROM HARRINGTON MARKET PLACE TO A ORIGINAL LOCATION AT SHOPS OF CAMERON PLACE. FRITZ IS PROPOSING TO CONNECT COFFEE KIOSK TO CITY UTILITIES AND USE EXISTING PAINTED ARROWS IN PARKING LOT TO ACCOMMODATE DRIVE THRU TRAFFIC. PROPOSED OUTDOOR SEATING AND PROPOSED TO USE DUMPSTERS ON SITE FOR SOLID WASTE. UTILITIES ARE PROPOSED TO BE CONNECTED TO EXISTING CITY SEWER AND WATER. EXITING LANDSCAPING IS NOT TO BE DISTURBED AS IT IS REQUIRED PER ARTICLE 7. EXISTING PARKING, ADA REQUIREMENTS MUST BE MET. SHARED PARKING. NO PROPOSED EXTERIOR CHANGES TO THE KIOSK.

**BLDC-001328-2019**  
**Status:** Issued  
**Application Date:** 04/04/2019  
**Zone:** LI LI Light Industrial  
**Additional Info:**  
**Proposed Use:** PFIZER B110 ROOFING PROJECT. FLOODPLAIN ON SITE. NO PROPOSED DEVELOPMENT IN FLOOD AREA.  
**Public Water:** Yes  
**Subdivision:**  
**Description:** PFIZER BUILDING #110 ROOFING PROJECT

**Type:** Building (Non-Residential)  
**Workclass:** Alteration  
**Issue Date:** 04/17/2019  
**Sq Ft:** 0  
**Corner Lot:** No  
**Reactivated:** No  
**Acres:** 107.124

**District:** Lee County (Unincorporated)  
**Project:**  
**Expiration:** 10/14/2019  
**Valuation:** \$1,055,538.00  
**Private Sewer:** No  
**Fire Plan Review Required:** No  
**Power Co.:** DUKE

**Main Address:**  
**Parcel:** 9645-72-5175-00  
**Last Inspection:**  
**Assigned To:**  
**Private Well:** No  
**Construction Type:** V-A  
**Flood Zone:** AEFW, SHADED X, SHADED X, AE, SHADED X, SHADED X,

**BLDC-001424-2019**  
**Status:** Issued  
**Application Date:** 04/13/2019  
**Zone:** LI LI Light Industrial  
**Additional Info:**  
**Corner Lot:** No  
**Reactivated:** No  
**Power Co.:** DUKE  
**Description:** INTERIOR RENOVATIONS FOR (2) HUDDLE ROOMS AND ALSO NEW CUBICLES

**Type:** Building (Non-Residential)  
**Workclass:** Alteration  
**Issue Date:** 04/24/2019  
**Sq Ft:** 0  
**Private Sewer:** No  
**Fire Plan Review Required:** No

**District:** Sanford  
**Project:**  
**Expiration:** 10/21/2019  
**Valuation:** \$11,295.00  
**Public Sewer:** Yes  
**Construction Type:** V-A

**Main Address:**  
**Parcel:** 9662-60-4701-00  
**Last Inspection:**  
**Assigned To:**  
**Private Well:** No  
**Subdivision:**  
**Public Water:** Yes  
**Acres:** 229.789

**BLDC-001528-2019**  
**Status:** Issued  
**Application Date:** 06/23/2016  
**Zone:** CBD CBD Central Business  
**Additional Info:**  
**Corner Lot:** No  
**Reactivated:** No  
**Acres:** 0.0519471  
**Description:** (TRANSFERRED) REMOVE ROOF FOR SECOND FLOOR ADDITION PERMIT TO REMOVE FIRE DAMAGES ROOF ONLY. ADDED FIT UP FOR FIRST AND SECOND FLOOR ON 11/14/2016. FEES WILL APPLY. PH TRANSFERRED FROM OLD DESKTOP VERSION; PLEASE REFERENCE IN OLD DESKTOP SYSTEM BUILDING PERMIT#25191

**Type:** Building (Non-Residential)  
**Workclass:** Alteration  
**Issue Date:** 04/25/2019  
**Sq Ft:** 0  
**Private Sewer:** No  
**Lot Number:** 7  
**Power Co.:** DUKE

**District:** Sanford  
**Project:**  
**Expiration:** 10/22/2019  
**Valuation:** \$2,500.00  
**Public Sewer:** No  
**Fire Plan Review Required:** No

**Main Address:**  
**Parcel:** 9642-79-3121-00  
**Last Inspection:**  
**Assigned To:**  
**Private Well:** No  
**Construction Type:** V-A  
**Public Water:** No  
**Subdivision:**

**BUILDING (RESIDENTIAL)** PERMITS ISSUED FOR BUILDING (NON-RESIDENTIAL): 7

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

<b>BRES-000728-2019</b>	Type: Building (Residential) Workclass: Addition Issue Date: 04/17/2019 Sq Ft: 588	District: Sanford Project: Expiration: 10/14/2019 Valuation: \$20,000.00	Main Address: Parcel: 9652-28-1599-00 Last Inspection:	1201 Goldsboro Ave Sanford, NC 27330 Final Date: Assigned To: Chyna Kitt
<b>Construction Type: V-A</b>	Basement: No Existing Utilities: , Public Sewer, Public Water	Building Occupancy: Residential Fire Plan Review Required: No	Heated Square Footage: 588 Subdivision: PALMER	Corner Lot: No Acres: 0.187088
<b>Description: 21'X28' ADDITION TO EXISTING SFD</b>				
<b>BRES-000997-2019</b>	Type: Building (Residential) Workclass: Other Issue Date: 04/02/2019 Sq Ft: 0	District: Lee County (Unincorporated) Project: Expiration: 10/29/2019 Valuation: \$25,000.00	Main Address: Parcel: 9528-24-3667-00 Last Inspection:	342 Hollywood Rd Cameron, NC 28328 Final Date: Assigned To: Paulette Harmon
<b>Additional Info:</b>	Corner Lot: No	Fire Plan Review Required: No	Subdivision: B M KELLY	Watershed: LITTLE RIVER / LEE COUNTY
<b>Basement: No</b>				
<b>Acres: 5.02677</b>				
<b>Description: 20'X32' ADDITION TO EXISTING DETACHED GARAGE</b>				
<b>BRES-001187-2019</b>	Type: Building (Residential) Workclass: Addition Issue Date: 04/22/2019 Sq Ft: 384	District: Sanford ETJ Project: Expiration: 10/19/2019 Valuation: \$2,000.00	Main Address: Parcel: 9641-94-5237-00 Last Inspection:	637 St Andrews Church Rd Sanford, NC 27332 Final Date: Assigned To: Paulette Harmon
<b>Additional Info:</b>	Basement: No	Building Occupancy: Residential Fire Plan Review Required: No	Porch/Deck Square Footage: 384 Subdivision: WENDOVER	Corner Lot: No Acres: 0.78752
<b>Construction Type: V-A</b>	Existing Utilities: , Private Sewer System, Public Water			
<b>Power Supplier: Duke Energy (800) 452-2777</b>				
<b>Power Co.: DUKE</b>				
<b>Description: 16'X24' COVERED PORCH ADDITION IN REAR OF HOME</b>				
<b>BRES-001196-2019</b>	Type: Building (Residential) Workclass: New Issue Date: 04/03/2019 Sq Ft: 2,164	District: Sanford Project: Expiration: 10/27/2019 Valuation: \$127,000.00	Main Address: Parcel: 9660-18-2604-00 Last Inspection:	113 Tyvola St Sanford, NC 27330 Final Date: Assigned To: Paulette Harmon
<b>Additional Info:</b>	Basement: No	Building Occupancy: Residential Subdivision: PARK AT SOUTH PARK	Lot Number: 4 Acres: 0.89	Corner Lot: No Power Co.: DUKE
<b>Construction Type: V-A</b>	Proposed Utilities: Public Sewer, Public Water			
<b>Fire Plan Review Required: No</b>				
<b>Description: NEW SFD</b>				
<b>BRES-001197-2019</b>	Type: Building (Residential) Workclass: New Issue Date: 04/03/2019 Sq Ft: 2,050	District: Sanford Project: Expiration: 10/27/2019 Valuation: \$122,000.00	Main Address: Parcel: 9660-18-1517-00 Last Inspection:	117 Tyvola St Sanford, NC 27330 Final Date: Assigned To: Paulette Harmon
<b>Additional Info:</b>	Basement: No	Number of Stories: 1	Number of Bathrooms: 2	Building Occupancy: Residential
<b>Construction Type: V-A</b>				

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

<b>Lot Number:</b> 5	<b>Corner Lot:</b> No	<b>Fire Plan Review Required:</b> No	<b>Proposed Utilities:</b> Public Sewer, Public Water	<b>Subdivision:</b> PARK AT SOUTH PARK
<b>Acres:</b> 0.92	<b>Power Co.:</b> DUKE			
<b>Description:</b> NEW SFD				
<b>BRES-001198-2019</b>	<b>Type:</b> Building (Residential)	<b>District:</b> Sanford	<b>Main Address:</b> 121 Tyvola St	
<b>Status:</b> Issued	<b>Workclass:</b> New	<b>Project:</b>	<b>Parcel:</b> 9660-18-0523-00	<b>Sanford, NC 27330</b>
<b>Application Date:</b> 03/26/2019	<b>Issue Date:</b> 04/03/2019	<b>Expiration:</b> 10/27/2019	<b>Last Inspection:</b> 04/30/2019	<b>Final Date:</b>
<b>Zone:</b> CZ CZ	<b>Sq Ft:</b> 2,012	<b>Valuation:</b> \$115,000.00		<b>Assigned To:</b> Paulette Harmon
<b>Additional Info:</b>				
<b>Construction Type:</b> V-A	<b>Basement:</b> No	<b>Number of Stories:</b> 1	<b>Number of Bathrooms:</b> 2	<b>Building Occupancy:</b> Residential
<b>Lot Number:</b> 6	<b>Corner Lot:</b> No	<b>Fire Plan Review Required:</b> No	<b>Proposed Utilities:</b> Public Sewer, Public Water	<b>Subdivision:</b> PARK AT SOUTH PARK
<b>Acres:</b> 0.96	<b>Power Co.:</b> DUKE			
<b>Description:</b> NEW SFD				
<b>BRES-001199-2019</b>	<b>Type:</b> Building (Residential)	<b>District:</b> Sanford	<b>Main Address:</b> 133 Tyvola St	
<b>Status:</b> Issued	<b>Workclass:</b> New	<b>Project:</b>	<b>Parcel:</b> 9660-08-7433-00	<b>Sanford, NC 27330</b>
<b>Application Date:</b> 03/26/2019	<b>Issue Date:</b> 04/03/2019	<b>Expiration:</b> 11/02/2019	<b>Last Inspection:</b> 05/06/2019	<b>Final Date:</b>
<b>Zone:</b> R-14 R-14 Residential Single-Family	<b>Sq Ft:</b> 2,056	<b>Valuation:</b> \$112,000.00		<b>Assigned To:</b> Paulette Harmon
<b>Additional Info:</b>				
<b>Construction Type:</b> V-A	<b>Basement:</b> No	<b>Number of Stories:</b> 1	<b>Number of Bathrooms:</b> 2	<b>Building Occupancy:</b> Residential
<b>Lot Number:</b> 9	<b>Corner Lot:</b> No	<b>Fire Plan Review Required:</b> No	<b>Proposed Utilities:</b> Public Sewer, Public Water	<b>Subdivision:</b> PARK AT SOUTH PARK
<b>Acres:</b> 0.56	<b>Power Co.:</b> DUKE			
<b>Description:</b> NEW SFD				
<b>BRES-001200-2019</b>	<b>Type:</b> Building (Residential)	<b>District:</b> Sanford	<b>Main Address:</b> 129 Tyvola St	
<b>Status:</b> Issued	<b>Workclass:</b> New	<b>Project:</b>	<b>Parcel:</b> 9660-08-8428-00	<b>Sanford, NC 27330</b>
<b>Application Date:</b> 03/26/2019	<b>Issue Date:</b> 04/03/2019	<b>Expiration:</b> 11/02/2019	<b>Last Inspection:</b> 05/06/2019	<b>Final Date:</b>
<b>Zone:</b> R-14 R-14 Residential Single-Family	<b>Sq Ft:</b> 2,007	<b>Valuation:</b> \$115,000.00		<b>Assigned To:</b> Paulette Harmon
<b>Additional Info:</b>				
<b>Construction Type:</b> V-A	<b>Basement:</b> No	<b>Number of Stories:</b> 1	<b>Number of Bathrooms:</b> 2	<b>Building Occupancy:</b> Residential
<b>Lot Number:</b> 8	<b>Corner Lot:</b> No	<b>Fire Plan Review Required:</b> No	<b>Proposed Utilities:</b> Public Sewer, Public Water	<b>Subdivision:</b> PARK AT SOUTH PARK
<b>Acres:</b> 0.75	<b>Power Co.:</b> DUKE			
<b>Description:</b> NEW SFD				
<b>BRES-001209-2019</b>	<b>Type:</b> Building (Residential)	<b>District:</b> Sanford	<b>Main Address:</b> 2309 Brownstone Dr	
<b>Status:</b> Issued	<b>Workclass:</b> Accessory Structure	<b>Project:</b>	<b>Parcel:</b> 9623-93-0705-00	<b>Sanford, NC 27330</b>
<b>Application Date:</b> 03/27/2019	<b>Issue Date:</b> 04/04/2019	<b>Expiration:</b> 10/01/2019	<b>Last Inspection:</b>	<b>Final Date:</b>
<b>Zone:</b> R-14 R-14 Residential Single-Family	<b>Sq Ft:</b> 240	<b>Valuation:</b> \$7,035.00		<b>Assigned To:</b> Paulette Harmon
<b>Additional Info:</b>				
<b>Construction Type:</b> V-A	<b>Basement:</b> No	<b>Building Occupancy:</b> Residential	<b>Corner Lot:</b> No	<b>Power Supplier:</b> Duke Energy (800) 452-2777

**PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)**

**Existing Utilities:** Public Sewer, Public Fire Plan Review Required: No      **Subdivision:** BROWNSTONE      **Watershed:** DEEP RIVER / LEE COUNTY      **Acres:** 0.686668  
**Power Co.:** DUKE

**Description:** PROPOSED ACCESSORY BUILDING (12' X 20') TO BE CONSTRUCTED BEHIND EXISTING (UNDER CONSTRUCTION) SFD

**BRES-001213-2019**  
**Status:** Issued      **Type:** Building (Residential)      **District:** Sanford  
**Application Date:** 03/27/2019      **Workclass:** Renovations      **Project:** 2300 Radius Cir  
**Zone:** R-20 R-20      **Issue Date:** 04/04/2019      **Expiration:** 10/23/2019      **Parcel:** 9632-87-1882-00      **Sanford, NC 27330**  
**Additional Info:**      **Sq Ft:** 0      **Valuation:** \$17,500.00      **Last Inspection:** 04/26/2019      **Assigned To:** Paulette Harmon  
**Construction Type:** V-A      **Basement:** No      **Building Occupancy:** Residential      **Lot Number:** 53      **Corner Lot:** No  
**Power Supplier:** Duke Energy (800)      **Existing Utilities:** Fire Plan Review Required: No      **Subdivision:** COLONIAL ACRES      **Acres:** 0.546084  
**Power Co.:** DUKE

**Description:** PROPOSED ROOF-MOUNTED SOLAR PANELS TO BE INSTALLED ON EXISTING SFD.

**BRES-001245-2019**  
**Status:** Issued      **Type:** Building (Residential)      **District:** Lee County (Unincorporated)      **Main Address:** 113 Mossy Oak Rd  
**Application Date:** 03/28/2019      **Workclass:** Modular      **Project:** Parcel: 9630-51-5467-00      **Sanford, NC 27331**  
**Zone:** RA/MH RA/MH      **Issue Date:** 04/05/2019      **Expiration:** 10/22/2019      **Last Inspection:** 04/25/2019      **Finalized Date:**  
**Additional Info:**      **Sq Ft:** 2,242      **Valuation:** \$200,325.00      **Assigned To:** Paulette Harmon  
**Construction Type:** V-A      **Basement:** No      **Number of Stories:** 1      **Building Occupancy:** Residential  
**Lot Number:** 14      **Corner Lot:** No      **Fire Plan Review Required:** No      **Proposed Utilities:** Private Sewer System, Public Water  
**Acres:** 1.04823      **Power Co.:** DUKE

**Description:** NEW MODULAR

**BRES-001246-2019**  
**Status:** Complete      **Type:** Building (Residential)      **District:** Lee County (Unincorporated)      **Main Address:** 4341 Deep River Rd  
**Application Date:** 03/28/2019      **Workclass:** Other      **Project:** Parcel: 9657-72-6128-00      **Sanford, NC 27330**  
**Zone:** RA RA Residential Agricultural      **Issue Date:** 04/17/2019      **Expiration:** 10/23/2019      **Last Inspection:** 04/26/2019      **Finalized Date:** 04/26/2019  
**Additional Info:**      **Sq Ft:** 0      **Valuation:** \$28,000.00      **Assigned To:** Paulette Harmon  
**Construction Type:** V-A      **Basement:** No      **Number of Stories:** 1      **Building Occupancy:** Residential  
**Corner Lot:** No      **Existing Utilities:** Private Sewer System, Fire Plan Review Required: No      **Subdivision:**  
**Power Co.:** DUKE

**Description:** INSTALL SOLAR PANELS ON PANELS ON ROOF NO EXPANSION OF FOOTPRINT

**BRES-001247-2019**  
**Status:** Issued      **Type:** Building (Residential)      **District:** Lee County (Unincorporated)      **Main Address:** 4884 Cox Mill Rd  
**Application Date:** 03/28/2019      **Workclass:** Accessory Structure      **Project:** Parcel: 9670-39-5411-00      **Sanford, NC 27332**  
**Zone:** RA RA Residential Agricultural      **Issue Date:** 04/05/2019      **Expiration:** 10/27/2019      **Last Inspection:** 04/30/2019      **Finalized Date:**  
**Additional Info:**      **Sq Ft:** 0      **Valuation:** \$18,900.00      **Assigned To:** Paulette Harmon  
**Construction Type:** V-A      **Basement:** No      **Number of Stories:** 1      **Building Occupancy:** Residential  
**Existing Utilities:** Private Sewer System, Fire Plan Review Required: No      **Subdivision:**      **Acres:** 0.975795  
**Power Co.:** DUKE

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

Description: 27'x25' DETACHED CARPORT

**BRES-001248-2019**  
 Status: Issued  
 Application Date: 03/28/2019  
 Zone: R-14 R-14 Residential Single-Family  
 Additional Info:  
 Construction Type: V-A  
 Fire Plan Review Required: No  
 Type: Building (Residential)  
 Workclass: New  
 Issue Date: 04/03/2019  
 Sq Ft: 2,675  
 District: Sanford  
 Project:  
 Expiration: 10/29/2019  
 Valuation: \$170,000.00  
 Main Address:  
 Parcel: 9660-08-6889-00  
 Last Inspection: 05/02/2019  
 Assigned To: Paulette Harmon  
 Basement: No  
 Proposed Utilities: Public Sewer, Public Water  
 Building Occupancy: Residential  
 Subdivision: PARK AT SOUTH PARK  
 Lot Number: 16  
 Acres: 0.4  
 Corner Lot: No  
 Power Co.: DUKE

Description: NEW SFD  
 CONTRACTOR REQUESTED A CHANGE OF PLANS ON 04/12/2019, I OBTAINED PLANNING AND ZONING APPROVAL FOR REVISED PLOT PLAN AND CHANGE OF PLANS. CHANGE OF SQUARE FOOTAGE IS NOT SIGNIFICANT ENOUGH TO ADD ADDITIONAL FEE. HAD INSPECTOR STAMP REVISIONS. PH

**BRES-001256-2019**  
 Status: Issued  
 Application Date: 03/29/2019  
 Zone: R-20 R-20  
 Additional Info:  
 Construction Type: V-A  
 Corner Lot: No  
 Acres: 5.10567  
 Description: NEW SFD  
 Type: Building (Residential)  
 Workclass: New  
 Issue Date: 04/05/2019  
 Sq Ft: 3,679  
 District: Sanford  
 Project:  
 Expiration: 10/02/2019  
 Valuation: \$300,000.00  
 Main Address:  
 Parcel: 9633-48-4356-00  
 Last Inspection:  
 Assigned To: Paulette Harmon  
 Basement: No  
 Power Supplier: Duke Energy (800) 452-2777  
 Power Co.: DUKE  
 Number of Stories: 2  
 Existing Utilities: , Public Sewer, Public Water  
 Fire Plan Review Required: No  
 Number of Bathrooms: 2.5

**BRES-001288-2019**  
 Status: Issued  
 Application Date: 04/01/2019  
 Zone: CZ CZ  
 Additional Info:  
 Construction Type: V-A  
 Lot Number: 10  
 Subdivision: PORCHES  
 Description: NEW SFD  
 Type: Building (Residential)  
 Workclass: New  
 Issue Date: 04/15/2019  
 Sq Ft: 1,887  
 District: Sanford  
 Project:  
 Expiration: 11/02/2019  
 Valuation: \$160,000.00  
 Main Address:  
 Parcel: 9632-99-7720-00  
 Last Inspection: 05/06/2019  
 Assigned To: Paulette Harmon  
 Basement: No  
 Corner Lot: No  
 Acres: 0.231631  
 Number of Stories: 1  
 Power Supplier: Duke Energy (800) 452-2777  
 Power Co.: DUKE  
 Existing Utilities: , Public Sewer, Public Water  
 Fire Plan Review Required: No  
 Number of Bathrooms: 2

**BRES-001289-2019**  
 Status: Issued  
 Application Date: 04/01/2019  
 Zone: R-20 R-20  
 Additional Info:  
 Construction Type: V-A  
 Power Supplier: Duke Energy (800) 452-2777  
 Power Co.: DUKE  
 Description: PROPOSED ACCESSORY BUILDING (36' X 34') ON LOT WITH EXISTING SFD.  
 Type: Building (Residential)  
 Workclass: Accessory Structure  
 Issue Date: 04/11/2019  
 Sq Ft: 1,224  
 District: Sanford  
 Project:  
 Expiration: 10/08/2019  
 Valuation: \$55,000.00  
 Main Address:  
 Parcel: 9633-45-0722-00  
 Last Inspection:  
 Assigned To: Paulette Harmon  
 Basement: No  
 Existing Utilities: , Public Sewer, Public Water  
 Fire Plan Review Required: No  
 Number of Stories: 1  
 Building Occupancy: Residential  
 Subdivision:  
 Corner Lot: No  
 Acres: 1.12902

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

<b>BRES-001292-2019</b> Status: Issued Application Date: 04/01/2019 Zone: RA RA Residential Agricultural Additional Info: Basement: No	Type: Building (Residential) Workclass: Renovations Issue Date: 04/04/2019 Sq Ft: 0 Corner Lot: No Power Co.: CEMC	District: Lee County (Unincorporated) Project: Expiration: 10/01/2019 Valuation: \$61,000.00 Fire Plan Review Required: No	Main Address: Parcel: 9666-66-0048-00 Last Inspection: 04/10/2019 Subdivision:	402 Rod Sullivan Rd Sanford, NC 27330 Final Date: Assigned To: Paulette Harmon Watershed: CAPE FEAR / LEE COUNTY
<b>BRES-001296-2019</b> Status: Issued Application Date: 04/02/2019 Zone: R-20 R-20 Additional Info: Construction Type: V-A Lot Number: 2 Subdivision: PENDERGRASS ESTATES Description: NEW SFD	Type: Building (Residential) Workclass: New Issue Date: 04/10/2019 Sq Ft: 3,083 Basement: No Corner Lot: No Acres: 0.54	District: Sanford ETJ Project: Expiration: 10/07/2019 Valuation: \$165,450.00 Number of Stories: 2 Power Supplier: Duke Energy (800) 452-2777 Power Co.: DUKE	Main Address: Parcel: 9622-95-6799-00 Last Inspection: Number of Bathrooms: 2.5 Fire Plan Review Required: No	665 Pendergrass Rd Sanford, NC 27330 Final Date: Assigned To: Paulette Harmon Building Occupancy: Residential Proposed Utilities: , Private Sewer System, Public Water
<b>BRES-001297-2019</b> Status: Issued Application Date: 04/02/2019 Zone: R-20 R-20 Additional Info: Construction Type: V-A Lot Number: 3 Subdivision: PENDERGRASS ESTATES Description: NEW SFD	Type: Building (Residential) Workclass: New Issue Date: 04/10/2019 Sq Ft: 2,674 Basement: No Corner Lot: No Acres: 0.56	District: Sanford ETJ Project: Expiration: 10/07/2019 Valuation: \$139,500.00 Number of Stories: 1 Power Supplier: Duke Energy (800) 452-2777 Power Co.: DUKE	Main Address: Parcel: 9622-95-6827-00 Last Inspection: Number of Bathrooms: 2 Fire Plan Review Required: No	661 Pendergrass Rd Sanford, NC 27330 Final Date: Assigned To: Paulette Harmon Building Occupancy: Residential Proposed Utilities: Private Sewer System, Public Water
<b>BRES-001298-2019</b> Status: Issued Application Date: 04/02/2019 Zone: R-20 R-20 Additional Info: Construction Type: V-A Lot Number: 4 Subdivision: PENDERGRASS ESTATES Description: NEW SFD	Type: Building (Residential) Workclass: New Issue Date: 04/10/2019 Sq Ft: 2,674 Basement: No Corner Lot: No Acres: 0.58	District: Sanford ETJ Project: Expiration: 10/07/2019 Valuation: \$149,450.00 Number of Stories: 1 Power Supplier: Duke Energy (800) 452-2777 Power Co.: DUKE	Main Address: Parcel: 9622-95-5954-00 Last Inspection: Number of Bathrooms: 2 Fire Plan Review Required: No	657 Pendergrass Rd Sanford, NC 27330 Final Date: Assigned To: Paulette Harmon Building Occupancy: Residential Proposed Utilities: Private Sewer System, Public Water

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

<b>BRES-001299-2019</b>	<b>Type:</b> Building (Residential) <b>Workclass:</b> New <b>Issue Date:</b> 04/10/2019 <b>Sq Ft:</b> 2,363	<b>District:</b> Sanford <b>Project:</b> <b>Expiration:</b> 11/02/2019 <b>Valuation:</b> \$180,000.00	<b>Main Address:</b> 214 Southwick Ct Sanford, NC 27330 <b>Final Date:</b> Assigned To: Paulette Harmon
<b>Additional Info:</b> <b>Construction Type:</b> V-A <b>Lot Number:</b> 15 <b>Subdivision:</b> PARK AT SOUTH PARK <b>Description:</b> NEW SFD	<b>Basement:</b> No <b>Corner Lot:</b> No <b>Acres:</b> 0.56	<b>Number of Stories:</b> 1 <b>Power Supplier:</b> Duke Energy (800) 452-2777 <b>Power Co.:</b> DUKE	<b>Building Occupancy:</b> Residential <b>Proposed Utilities:</b> Public Sewer, Public Water
<b>PERMIT WAS ISSUED WITH THE ADDRESS AS 210 SOUTHWICK CT., ADDRESS WAS INCORRECT FOR LOT #15, I WAS CONTACTED BY JEANNATTE BOWMER ON 04/12/2019 AND INFORMED THE CORRECT ADDRESS IS 214 SOUTHWICK CT. I CHANGED ADDRESS WITH IN INSPECTIONS AND PERMIT, CONTACTED CONTRACTOR AND INFORMED THEM OF SAID CHANGE. PH</b>			
<b>BRES-001325-2019</b>	<b>Type:</b> Building (Residential) <b>Workclass:</b> New <b>Issue Date:</b> 04/16/2019 <b>Sq Ft:</b> 2,851	<b>District:</b> Lee County (Unincorporated) <b>Project:</b> <b>Expiration:</b> 10/13/2019 <b>Valuation:</b> \$180,000.00	<b>Main Address:</b> 2102 Washington St Sanford, NC 27330 <b>Final Date:</b> Assigned To: Paulette Harmon
<b>Additional Info:</b> <b>Construction Type:</b> V-A <b>Lot Number:</b> 2102 <b>Subdivision:</b> CAROLINA TRACE <b>Description:</b> NEW SFD	<b>Basement:</b> No <b>Corner Lot:</b> No <b>Acres:</b> 0.363117	<b>Number of Stories:</b> 1 <b>Power Supplier:</b> Duke Energy (800) 452-2777 <b>Power Co.:</b> DUKE	<b>Building Occupancy:</b> Residential <b>Fire Plan Review Required:</b> No
<b>BRES-001334-2019</b>	<b>Type:</b> Building (Residential) <b>Workclass:</b> Accessory Structure <b>Issue Date:</b> 04/12/2019 <b>Sq Ft:</b> 0	<b>District:</b> Sanford <b>Project:</b> <b>Expiration:</b> 10/09/2019 <b>Valuation:</b> \$3,000.00	<b>Main Address:</b> 1709 Tomberlin Rd Sanford, NC 27330 <b>Final Date:</b> Assigned To: Paulette Harmon
<b>Additional Info:</b> <b>Construction Type:</b> V-A <b>Power Supplier:</b> Duke Energy (800) 452-2777 <b>Power Co.:</b> DUKE <b>Description:</b> 10'x20' ACCESSORY BUILDING	<b>Basement:</b> No <b>Existing Utilities:</b> Private Sewer System, Public Water	<b>Number of Stories:</b> 1 <b>Fire Plan Review Required:</b> No	<b>Building Occupancy:</b> Storage <b>Subdivision:</b> WESTLAKE VALLEY <b>Corner Lot:</b> No <b>Acres:</b> 0.950685
<b>BRES-001340-2019</b>	<b>Type:</b> Building (Residential) <b>Workclass:</b> New <b>Issue Date:</b> 04/15/2019 <b>Sq Ft:</b> 1,596	<b>District:</b> Broadway <b>Project:</b> <b>Expiration:</b> 10/12/2019 <b>Valuation:</b> \$90,000.00	<b>Main Address:</b> 504 Hamlet Dr Broadway, NC 27505 <b>Final Date:</b> Assigned To: Paulette Harmon
<b>Additional Info:</b> <b>Construction Type:</b> V-A <b>Lot Number:</b> 10 <b>Acres:</b> 0.369457 <b>Description:</b> 32'X48' SFD	<b>Basement:</b> No <b>Corner Lot:</b> No <b>Power Co.:</b> DUKE	<b>Number of Stories:</b> 1 <b>Fire Plan Review Required:</b> No	<b>Building Occupancy:</b> Residential <b>Subdivision:</b> ACT II <b>Proposed Utilities:</b> Public Sewer, Public Water

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

<b>BRES-001394-2019</b> Status: Issued Application Date: 04/12/2019 Zone: RA RA Residential Agricultural Additional Info: Public Sewer: No Central EMC: No Well: No Description: 28X48' DOUBLEWIDE	Type: Building (Residential) Workclass: Manufactured Home Issue Date: 04/12/2019 Sq Ft: 0 Public Water: Yes Reactivated: No Watershed: LITTLE RIVER / LEE COUNTY	District: Lee County (Unincorporated) Project: Expiration: 10/09/2019 Valuation: \$0.00 Completed Manufactured Home Set Up Permit: No City/County Water: No Acres: 2.59192	Main Address: Parcel: 9539-05-7469-00 Last Inspection: Assigned To: Paulette Harmon Duke Energy: No Septic Tank: Yes Subdivision:	4130 Jefferson Davis Hwy Sanford, NC 27332 Final Date: Assigned To: Paulette Harmon
<b>BRES-001402-2019</b> Status: Issued Application Date: 04/12/2019 Zone: R-20 R-20 Additional Info: Construction Type: V-A Existing Utilities: Private Sewer System, Public Water Description: INTERIOR RENOVATIONS FOR DETACHED GARAGE	Type: Building (Residential) Workclass: Renovations Issue Date: 04/17/2019 Sq Ft: 0 Basement: No Fire Plan Review Required: No	District: Sanford ETJ Project: Expiration: 10/14/2019 Valuation: \$4,500.00 Number of Stories: 1 Subdivision: ST ANDREWS	Main Address: Parcel: 9651-02-6494-00 Last Inspection: Building Occupancy: Utility Acres: 0.478411	3812 Northgate Cir Sanford, NC 27332 Final Date: Assigned To: Paulette Harmon Corner Lot: No Power Co.: DUKE
<b>BRES-001403-2019</b> Status: Issued Application Date: 04/12/2019 Zone: R-20 R-20 Additional Info: Construction Type: V-A Lot Number: 6 Acres: 0.74 Description: NEW SFD	Type: Building (Residential) Workclass: New Issue Date: 04/26/2019 Sq Ft: 3,383 Basement: No Corner Lot: No Power Co.: DUKE	District: Sanford ETJ Project: Expiration: 10/23/2019 Valuation: \$180,000.00 Number of Stories: 2 Fire Plan Review Required: No	Main Address: Parcel: 9622-96-3098-00 Last Inspection: Number of Bathrooms: 3 Proposed Utilities: Private Sewer System, Public Water	649 Pendergrass Rd Sanford, NC 27330 Final Date: Assigned To: Paulette Harmon Building Occupancy: Residential Subdivision: PENDERGRASS ESTATES
<b>BRES-001405-2019</b> Status: Issued Application Date: 04/12/2019 Zone: RA RA Residential Agricultural Additional Info: Construction Type: V-A Unheated Square Footage: 620 Subdivision: BEVERLY HILLS Description: A 10X20' CLOSET ADDITION , AND 20X24' SUNROOM/DECK ADDITION	Type: Building (Residential) Workclass: Addition Issue Date: 04/17/2019 Sq Ft: 0 Basement: No Porch/Deck Square Footage: 320 Watershed: LITTLE RIVER / LEE COUNTY	District: Lee County (Unincorporated) Project: Expiration: 10/14/2019 Valuation: \$9,000.00 Number of Stories: 1 Corner Lot: No Acres: 10.3185	Main Address: Parcel: 9537-78-1524-00 Last Inspection: Number of Bathrooms: 2 Existing Utilities: Private Sewer System, Public Water Power Co.: CEMC	410 Beverly Hills Ln Cameron, NC 28326 Final Date: Assigned To: Paulette Harmon Building Occupancy: Residential Fire Plan Review Required: No



PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

**BRES-001431-2019**

Status: Issued  
 Application Date: 04/16/2019  
 Zone: R-10 R-10 Residential Mixed  
 Additional Info:  
 Construction Type: V-A  
 Lot Number: 23-27  
 Acres: 0.470682  
 Description: INTERIOR RENOVATIONS TO EXISTING SFD CONVERTING CARPORT INTO 2 BEDROOMS PER CONTRACTOR ON 4/22/19.

Type: Building (Residential)  
 Workclass: Renovations  
 Issue Date: 04/22/2019  
 Sq Ft: 0  
 Basement: No  
 Corner Lot: No  
 Power Co.: DUKE

District: Sanford  
 Project:  
 Expiration: 10/19/2019  
 Valuation: \$4,200.00  
 Number of Stories: 1  
 Existing Utilities: Public Sewer, Public Water  
 Number of Bathrooms: 2  
 Fire Plan Review Required: No

Main Address:  
 Parcel: 9652-09-9851-00  
 Last Inspection:  
 505 Hickory Ave  
 Sanford, NC 27330  
 Finaled Date:  
 Assigned To: Paulette Harmon

Building Occupancy: Residential  
 Subdivision: WILKINS

**BRES-001432-2019**

Status: Issued  
 Application Date: 04/16/2019  
 Zone:  
 Additional Info:  
 Construction Type: V-A  
 Lot Number: 9  
 Acres: 0.261129  
 Description: NEW SFD

Type: Building (Residential)  
 Workclass: New  
 Issue Date: 04/25/2019  
 Sq Ft: 2,262  
 Basement: No  
 Corner Lot: No

District: Sanford  
 Project:  
 Expiration: 10/27/2019  
 Valuation: \$160,000.00  
 Number of Stories: 1.5  
 Fire Plan Review Required: No

Main Address:  
 Parcel: 9632-99-6639-00  
 Last Inspection:  
 1629 Porches Way  
 Sanford, NC 27330  
 Finaled Date:  
 Assigned To: Paulette Harmon

Building Occupancy: Residential  
 Subdivision: PORCHES

**BRES-001454-2019**

Status: Issued  
 Application Date: 04/18/2019  
 Zone: RA RA Residential Agricultural  
 Additional Info:  
 Public Sewer: No  
 Central EMC: No  
 Well: No  
 Description: SINGLE WIDE 16'X76'

Type: Building (Residential)  
 Workclass: Manufactured Home  
 Issue Date: 04/18/2019  
 Sq Ft: 0  
 Public Water: No  
 Reactivated: No  
 Acres: 1.99

District: Lee County (Unincorporated)  
 Project:  
 Expiration: 10/29/2019  
 Valuation: \$0.00  
 Completed Manufactured Home Set Up Permit: No  
 City/County Water: No  
 Power Co.: DUKE

Main Address:  
 Parcel: 9672-02-2998-00  
 Last Inspection:  
 1804 Broadway Rd  
 Sanford, NC 27332  
 Finaled Date:  
 Assigned To: Paulette Harmon

Duke Energy: No  
 Septic Tank: No

**BRES-001506-2019**

Status: Issued  
 Application Date: 04/24/2019  
 Zone: RA RA Residential Agricultural  
 Additional Info:  
 Public Sewer: No  
 Central EMC: No  
 Well: No  
 Description: SET UP OF 14'X70' SINGLEWIDE

Type: Building (Residential)  
 Workclass: Manufactured Home  
 Issue Date: 04/24/2019  
 Sq Ft: 0  
 Public Water: Yes  
 Reactivated: No  
 Acres: 75.8605

District: Lee County (Unincorporated)  
 Project:  
 Expiration: 10/21/2019  
 Valuation: \$0.00  
 Completed Manufactured Home Set Up Permit: No  
 City/County Water: No  
 Power Co.: DUKE

Main Address:  
 Parcel: 9539-20-3820-00  
 Last Inspection:  
 59 Mcmillian Ln  
 Sanford, NC 27332  
 Finaled Date:  
 Assigned To: Paulette Harmon

Duke Energy: No  
 Septic Tank: Yes

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

**BRES-001514-2019**  
 Status: Issued  
 Application Date: 04/24/2019  
 Zone: RA RA Residential Agricultural  
 Additional Info:  
 Public Sewer: No  
 Central EMC: No  
 Well: No  
 Subdivision:  
 Description: SET UP OF DOUBLE WIDE 28'X56'

Type: Building (Residential)  
 Workclass: Manufactured Home  
 Issue Date: 04/24/2019  
 Sq Ft: 0  
 Public Water: Yes  
 Reactivated: No  
 Watershed: CAPE FEAR / LEE COUNTY

District: Lee County (Unincorporated)  
 Project:  
 Expiration: 10/28/2019  
 Valuation: \$0.00

Completed Manufactured Home Set Up  
 Permit: No  
 City/County Water: No  
 Acres: 61.6096

Main Address:  
 Parcel: 9685-21-3184-00  
 Last Inspection: 05/01/2019

6675 Poplar Springs Church Rd  
 Sanford, NC 27330  
 Finaled Date:  
 Assigned To: Paulette Harmon

Duke Energy: No  
 Septic Tank: Yes  
 Flood Zone: AE

**BRES-001515-2019**  
 Status: Issued  
 Application Date: 04/24/2019  
 Zone: RA RA Residential Agricultural  
 Additional Info:  
 Public Sewer: No  
 Central EMC: Yes  
 Well: No  
 Description: 16'X76' SINGLE-WIDE MOBILE HOME SET UP

Type: Building (Residential)  
 Workclass: Manufactured Home  
 Issue Date: 04/24/2019  
 Sq Ft: 0  
 Public Water: Yes  
 Reactivated: No  
 Acres: 10.1649

District: Lee County (Unincorporated)  
 Project:  
 Expiration: 10/21/2019  
 Valuation: \$0.00

Completed Manufactured Home Set Up  
 Permit: No  
 City/County Water: No  
 Power Co.: CEMC

Main Address:  
 Parcel: 9600-94-2740-00  
 Last Inspection:

3692 S Plank Rd  
 Sanford, NC 27330  
 Finaled Date:  
 Assigned To: Paulette Harmon

Duke Energy: No  
 Septic Tank: Yes  
 Subdivision:

PERMITS ISSUED FOR BUILDING (RESIDENTIAL): 35

**CHANGE OF OCCUPANCY**

**OCC-001393-2019**  
 Status: Issued  
 Application Date: 04/12/2019  
 Zone: R-20 R-20  
 Additional Info:  
 City/County Sewer: Yes  
 Prior Occupancy Type: RESIDENTIAL  
 Subdivision: OAKDALE  
 Description: CHANGE OF OCCUPANCY

Type: Change of Occupancy  
 Workclass: Change of Occupancy  
 Issue Date: 04/12/2019  
 Sq Ft: 0  
 City/County Water: No  
 Proposed Occupancy: FAMILY CARE FACILITY

District: Sanford ETJ  
 Project:  
 Expiration: 10/14/2019  
 Valuation: \$0.00

Specific Tank: No  
 Proposed Business Name: INNOVATIONS INC.

Main Address:  
 Parcel: 9653-06-4778-00  
 Last Inspection: 04/17/2019

2105 Live Oak Dr  
 Sanford, NC 27330  
 Finaled Date:  
 Assigned To: Chris Riggins

Well: No  
 Acres: 0.409443

Public Water: Yes  
 Power Co.: DUKE

PERMITS ISSUED FOR CHANGE OF OCCUPANCY: 1

**DEMOLITION**

**DEMO-001381-2019**  
 Status: Issued  
 Application Date: 04/10/2019  
 Zone: RA RA Residential Agricultural  
 Additional Info:

Type: Demolition  
 Workclass: Residential  
 Issue Date: 04/10/2019  
 Sq Ft: 0

District: Lee County (Unincorporated)  
 Project:  
 Expiration: 10/07/2019  
 Valuation: \$0.00

Main Address:  
 Parcel: 9610-89-7347-00  
 Last Inspection:

272 Big Springs Rd  
 Sanford, NC 27330  
 Finaled Date:  
 Assigned To:

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

Public Water: No  
Acres: 32.5558  
Description: DEMO OF EXISTING SFD

Construction Type: V-A  
Power Co.: DUKE

Building Occupancy: R-2 Multi-Family  
Subdivision:

Number of Buildings: 0

Number of Dwellings: 1

DEMO-001503-2019

Status: Issued  
Application Date: 04/24/2019  
Zone: R-20 R-20  
Additional Info:

District: Sanford  
Project:  
Expiration: 10/26/2019  
Valuation: \$0.00

Main Address:  
Parcel: 2045 S Horner Blvd  
Sanford, NC 27330  
Final Date:  
Assigned To:

Public Water: No  
Power Co.: DUKE  
Description: DEMOLITION PERMIT

Construction Type: V-A  
Subdivision:

Number of Buildings: 1

Number of Dwellings: 0  
Acres: 1.83233

PERMITS ISSUED FOR DEMOLITION: 2

ELECTRICAL (NON-RESIDENTIAL)

ELEC-001286-2019

Status: Issued  
Application Date: 04/01/2019  
Zone: HI HI Heavy Industrial  
Additional Info:

District: Lee County (Unincorporated)  
Project:  
Expiration: 09/28/2019  
Valuation: \$0.00

Main Address:  
Parcel: 911 Rocky Fork Church Rd  
Sanford, NC 27332  
Final Date:  
Assigned To:

Duke Energy: Yes  
Progress Energy: No  
Subdivision:

Service Change Out: Up to 100 Amps: No  
Central Electric (EMC): No  
Total Amperage: 600

Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No  
Acres: 7.61216  
Standalone Electrical Permit: Yes  
Power Co.: DUKE

Description: 600 AMPS INSTALL (PORTABLE CONCRETE PLANT)

ELEC-001326-2019

Status: Issued  
Application Date: 04/04/2019  
Zone: R-20 R-20  
Additional Info:

District: Sanford  
Project:  
Expiration: 10/01/2019  
Valuation: \$0.00

Main Address:  
Parcel: 1400 Broadway Rd  
Sanford, NC 27332  
Final Date:  
Assigned To:

Duke Energy: No  
Progress Energy: No  
Subdivision:

Service Change Out: Up to 100 Amps: No  
Central Electric (EMC): No  
Acres: 229.789

Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No  
Power Co.: DUKE  
Standalone Electrical Permit: Yes  
Subdivision:

Description: RELOCATING BLISTER LINE #403- (2) POWER DROPS

ELEC-001338-2019

Status: Issued  
Application Date: 04/05/2019  
Zone: RA RA Residential Agricultural  
Additional Info:

District: Lee County (Unincorporated)  
Project:  
Expiration: 10/20/2019  
Valuation: \$235,000.00

Main Address:  
Parcel: 700 Rod Sullivan Rd  
Sanford, NC 27330  
Final Date:  
Assigned To:

Building Permit #: BLDC-000509-2018  
Duke Energy: No  
Progress Energy: No

Service Change Out: Up to 100 Amps: No  
Central Electric (EMC): No  
Total Amperage: 400

Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No  
Watershed: CAPE FEAR / LEE COUNTY

**PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)**

<b>Acres:</b> 398.74	<b>Power Co.:</b> CEMC	<b>Flood Zone:</b> AE	<b>Subdivision:</b>
<b>Description:</b> 400AMP WIRING OF PRIVATE AIRPORT HANGER TO BE CONSTRUCTED AT RALEIGH EXEC. JETPORT			
<b>ELEC-001352-2019</b>	<b>Type:</b> Electrical (Non-Residential)	<b>District:</b> Sanford	<b>Main Address:</b> 3078 S Homer Blvd
<b>Status:</b> Complete	<b>Workclass:</b> Miscellaneous	<b>Project:</b>	<b>Parcel:</b> 9651-98-0533-00
<b>Application Date:</b> 04/08/2019	<b>Issue Date:</b> 04/08/2019	<b>Expiration:</b> 10/14/2019	<b>Last Inspection:</b> 04/17/2019
<b>Zone:</b> C-2 C-2 General Commercial	<b>Sq Ft:</b> 120	<b>Valuation:</b> \$13,750.00	<b>Assigned To:</b>
<b>Additional Info:</b>			
<b>Building Permit #:</b> BLDC-001320-2019	<b>Duke Energy:</b> No	<b>Service Change Out:</b> Up to 100 Amps: No	<b>Service Change Out:</b> 125 to 200 Amps: Electrical - Fire Alarm: No
<b>Standalone Electrical Permit:</b> No	<b>Progress Energy:</b> No	<b>Central Electric (EMC):</b> No	<b>Watershed:</b> N/A
<b>Power Co.:</b> DUKE	<b>Flood Zone:</b> N/A	<b>Historic District:</b> N/A	<b>Acres:</b> 22.69
<b>Description:</b> HOOK UP OF ROASTED AND TOASTED - PROPOSED TO RELOCATE ROASTED AND TOASTED KIOSK FROM HARRINGTON MARKET PLACE TO A ORIGINAL LOCATION AT SHOPS OF CAMERON PLACE FRITZ IS PROPOSING TO CONNECT COFFEE KIOSK TO CITY UTILITIES AND USE EXISTING PAINTED ARROWS IN PARKING LOT TO ACCOMMODATE DRIVE THRU TRAFFIC. PROPOSED OUTDOOR SEATING AND PROPOSED TO USE DUMPSTERS ON SITE FOR SOLID WASTE. UTILITIES ARE PROPOSED TO BE CONNECTED TO EXISTING CITY SEWER AND WATER. EXISTING LANDSCAPING IS NOT TO BE DISTURBED AS IT IS REQUIRED PER ARTICLE 7. EXISTING PARKING, ADA REQUIREMENTS MUST BE MET. SHARED PARKING. NO PROPOSED EXTERIOR CHANGES TO THE KIOSK.			
<b>ELEC-001354-2019</b>	<b>Type:</b> Electrical (Non-Residential)	<b>District:</b> Sanford	<b>Main Address:</b> 2018 Boone Trail Rd
<b>Status:</b> Issued	<b>Workclass:</b> Miscellaneous	<b>Project:</b>	<b>Parcel:</b> 9634-35-9580-00
<b>Application Date:</b> 04/08/2019	<b>Issue Date:</b> 04/08/2019	<b>Expiration:</b> 10/15/2019	<b>Last Inspection:</b> 04/18/2019
<b>Zone:</b> LI LI Light Industrial	<b>Sq Ft:</b> 0	<b>Valuation:</b> \$0.00	<b>Assigned To:</b>
<b>Additional Info:</b>			
<b>Duke Energy:</b> No	<b>Service Change Out:</b> Up to 100 Amps: No	<b>Service Change Out:</b> 125 to 200 Amps: Electrical - Fire Alarm: No	<b>Standalone Electrical Permit:</b> Yes
<b>Progress Energy:</b> No	<b>Central Electric (EMC):</b> No	<b>Acres:</b> 12.3239	<b>Subdivision:</b>
<b>Description:</b> CURCUIITS FOR PAINT BOOTH			
<b>ELEC-001361-2019</b>	<b>Type:</b> Electrical (Non-Residential)	<b>District:</b> Sanford	<b>Main Address:</b> 1400 Broadway Rd
<b>Status:</b> Complete	<b>Workclass:</b> Alteration	<b>Project:</b>	<b>Parcel:</b> 9662-60-4701-00
<b>Application Date:</b> 04/08/2019	<b>Issue Date:</b> 04/08/2019	<b>Expiration:</b> 10/15/2019	<b>Last Inspection:</b> 04/18/2019
<b>Zone:</b> LI LI Light Industrial	<b>Sq Ft:</b> 0	<b>Valuation:</b> \$0.00	<b>Assigned To:</b>
<b>Additional Info:</b>			
<b>Duke Energy:</b> No	<b>Service Change Out:</b> Up to 100 Amps: No	<b>Service Change Out:</b> 125 to 200 Amps: Electrical - Fire Alarm: No	<b>Standalone Electrical Permit:</b> Yes
<b>Progress Energy:</b> No	<b>Central Electric (EMC):</b> No	<b>Total Amperage:</b> 120	<b>Power Co.:</b> DUKE
<b>Description:</b> 120 AMPS FOR LINE 213 AND 211			
<b>ELEC-001364-2019</b>	<b>Type:</b> Electrical (Non-Residential)	<b>District:</b> Sanford	<b>Main Address:</b> 607 Bragg St
<b>Status:</b> Issued	<b>Workclass:</b> Alteration	<b>Project:</b>	<b>Parcel:</b> 9653-20-9071-00
<b>Application Date:</b> 04/09/2019	<b>Issue Date:</b> 04/09/2019	<b>Expiration:</b> 10/09/2019	<b>Last Inspection:</b> 04/12/2019
<b>Zone:</b> C-2 C-2 General Commercial	<b>Sq Ft:</b> 0	<b>Valuation:</b> \$26,486.00	<b>Assigned To:</b>
<b>Additional Info:</b>			
<b>Building Permit #:</b> BLDC-000966-2019	<b>Duke Energy:</b> No	<b>Service Change Out:</b> Up to 100 Amps: No	<b>Service Change Out:</b> 125 to 200 Amps: Number of Room Additions: 1
<b>Electrical - Fire Alarm:</b> No	<b>Standalone Electrical Permit:</b> No	<b>Progress Energy:</b> No	<b>Central Electric (EMC):</b> No
<b>Power Co.:</b> DUKE	<b>Subdivision:</b>		<b>Acres:</b> 0.878251

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

Description: REMIRE DUE TO TO FIRE DAMAGE

**ELEC-001371-2019**  
 Status: Issued  
 Application Date: 04/10/2019  
 Zone: C-2 C-2 General Commercial  
 Additional Info:  
 Duke Energy: No  
 Progress Energy: No  
 Description: OUTLETS AND FIXTURES

Type: Electrical (Non-Residential)  
 Workclass: Miscellaneous  
 Issue Date: 04/10/2019  
 Sq Ft: 0  
 Service Change Out: Up to 100 Amps: No  
 Central Electric (EMC): No  
 Acres: 6.39

District: Sanford  
 Project:  
 Expiration: 10/07/2019  
 Valuation: \$0.00

Main Address:  
 Parcel: 9652-44-5508-00  
 Last Inspection:  
 Assigned To:  
 Standalone Electrical Permit: Yes  
 Subdivision:

**ELEC-001425-2019**  
 Status: Issued  
 Application Date: 04/15/2019  
 Zone:  
 Additional Info:  
 Duke Energy: No  
 Progress Energy: No  
 Description: 200 AMP SERVICE CHANGE

Type: Electrical (Non-Residential)  
 Workclass: Service Change  
 Issue Date: 04/15/2019  
 Sq Ft: 0  
 Service Change Out: Up to 100 Amps: No  
 Central Electric (EMC): No  
 Acres: 6.39

District: Lee County (Unincorporated)  
 Project:  
 Expiration: 10/12/2019  
 Valuation: \$0.00

Main Address:  
 Parcel: 9670-13-2442-00  
 Last Inspection:  
 Assigned To:  
 Standalone Electrical Permit: Yes

**ELEC-001455-2019**  
 Status: Issued  
 Application Date: 04/18/2019  
 Zone: CBD CBD Central Business  
 Additional Info:  
 Duke Energy: Yes  
 Progress Energy: No  
 Subdivision:

Type: Electrical (Non-Residential)  
 Workclass: Miscellaneous  
 Issue Date: 04/18/2019  
 Sq Ft: 0  
 Service Change Out: Up to 100 Amps: No  
 Central Electric (EMC): No  
 Acres: 0.0954464

District: Sanford  
 Project:  
 Expiration: 10/15/2019  
 Valuation: \$0.00

Main Address:  
 Parcel: 9643-60-7007-00  
 Last Inspection:  
 Assigned To:  
 Standalone Electrical Permit: Yes  
 Historic District: DOWNTOWN

**ELEC-001456-2019**  
 Status: Complete  
 Application Date: 04/18/2019  
 Zone: LI LJ Light Industrial  
 Additional Info:  
 Duke Energy: Yes  
 Progress Energy: No  
 Subdivision:

Type: Electrical (Non-Residential)  
 Workclass: Alteration  
 Issue Date: 04/18/2019  
 Sq Ft: 0  
 Service Change Out: Up to 100 Amps: No  
 Central Electric (EMC): No  
 Total Amperage: 400

District: Sanford  
 Project:  
 Expiration: 10/23/2019  
 Valuation: \$0.00

Main Address:  
 Parcel: 9662-60-4701-00  
 Last Inspection: 04/26/2019  
 Assigned To:  
 Standalone Electrical Permit: Yes  
 Power Co.: DUKE

Description: (7) 30 AMP DROPS; MOVING LINE #110; AND POWER DROPS

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

<b>ELEC-001465-2019</b> Status: Issued Application Date: 04/22/2019 Zone: RA RA Residential Agricultural Additional Info: Duke Energy: No Progress Energy: No Description: CHANGING EXISTING PANEL, NEW LIGHTING, SWITCHES AND RECEPTICLE UPGRADES DUE TO WATER DAMAGE	Type: Electrical (Non-Residential) Workclass: Miscellaneous Issue Date: 04/22/2019 Sq Ft: 0 Service Change Out: Up to 100 Amps: No Central Electric (EMC): No Acres: 9.1552	District: Lee County (Unincorporated) Project: Expiration: 11/02/2019 Valuation: \$0.00 Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No Power Co.: CEMC	Main Address: Parcel: 9548-00-6928-00 Last Inspection: 05/06/2019 Assigned To: Standalone Electrical Permit: No Subdivision:	2280 Nicholson Rd Cameron, NC 28326 Final Date: Assigned To:
<b>ELEC-001486-2019</b> Status: Issued Application Date: 04/23/2019 Zone: CBD CBD Central Business Additional Info: Duke Energy: Yes Progress Energy: No Power Co.: DUKE Description: 3 METER BASES; 200 AMPS & 2 SUBPANELS INSTALL	Type: Electrical (Non-Residential) Workclass: Repair Issue Date: 04/23/2019 Sq Ft: 0 Service Change Out: Up to 100 Amps: No Central Electric (EMC): No Historic District: DOWNTOWN	District: Sanford Project: Expiration: 10/20/2019 Valuation: \$0.00 Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No Total Amperage: 200 Subdivision:	Main Address: Parcel: 9642-69-6176-00 Last Inspection: Assigned To: Standalone Electrical Permit: Yes Acres: 0.0897716	243 Wicker St Sanford, NC 27330 Final Date: Assigned To:
<b>ELEC-001489-2019</b> Status: Issued Application Date: 04/23/2019 Zone: LI LI Light Industrial Additional Info: Duke Energy: No Progress Energy: No Power Co.: DUKE Description: INSTALL ELECTRICAL FOR LINE #319 (240 V DROP)	Type: Electrical (Non-Residential) Workclass: Miscellaneous Issue Date: 04/23/2019 Sq Ft: 0 Service Change Out: Up to 100 Amps: No Central Electric (EMC): No	District: Sanford Project: Expiration: 10/20/2019 Valuation: \$0.00 Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No Acres: 229.789	Main Address: Parcel: 9662-60-4701-00 Last Inspection: Assigned To: Standalone Electrical Permit: Yes Subdivision:	1400 Broadway Rd Sanford, NC 27332 Final Date: Assigned To:
<b>ELEC-001537-2019</b> Status: Issued Application Date: 01/23/2018 Zone: CBD CBD Central Business Additional Info: Building Permit #: 01529 Standalone Electrical Permit: No Acres: 0.0519471 Description: (TRANSFERRED) 400 AMPS & 2 SUBPANELS INSTALL TRANSFERRED FROM OLD DESKTOP VERSION; PLEASE REFERENCE IN OLD DESKTOP SYSTEM BUILDING PERMIT#:30242	Type: Electrical (Non-Residential) Workclass: Alteration Issue Date: 04/25/2019 Sq Ft: 0 Duke Energy: Yes Progress Energy: No Power Co.: DUKE	District: Sanford Project: Expiration: 10/22/2019 Valuation: \$2,500.00 Service Change Out: Up to 100 Amps: No Central Electric (EMC): No Subdivision:	Main Address: Parcel: 9642-79-3121-00 Last Inspection: Assigned To: Electrical - Fire Alarm: No Number of Sub-panels: 2 Total Amperage: 400	317 S Steele St Sanford, NC 27330 Final Date: Assigned To:

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

ELEC-001576-2019

Status: Issued

Application Date: 04/29/2019

Zone: R-20 R-20

Additional Info:

Duke Energy: No

Progress Energy: No

Description: WIRING OF (2) OUTLETS INTERIOR RENOVATIONS FOR (2) HUDDLE ROOMS AND ALSO NEW CUBICLES

Type: Electrical (Non-Residential)

Workclass: Miscellaneous

Issue Date: 04/29/2019

Sq Ft: 0

Service Change Out: Up to 100 Amps: No

Central Electric (EMC): No

Acres: 229.789

Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No

Power Co.: DUKE

Standalone Electrical Permit: No

Subdivision:

Main Address: 1400 Broadway Rd

Parcel: 9662-60-4701-00

Last Inspection: 04/30/2019

Assigned To:

PERMITS ISSUED FOR ELECTRICAL (NON-RESIDENTIAL): 16

ELECTRICAL (RESIDENTIAL)

ELER-001270-2019

Status: Issued

Application Date: 04/01/2019

Zone: R-20 R-20

Additional Info:

Building Permit #: BRES-001213-2019

Duke Energy: No

Progress Energy: No

Standalone Electrical Permit: No

Subdivision: COLONIAL ACRES

Description: WIRING OF PROPOSED ROOF-MOUNTED SOLAR PANELS TO BE INSTALLED ON EXISTING SFD.

Type: Electrical (Residential)

Workclass: Alteration

Issue Date: 04/04/2019

Sq Ft: 0

District: Sanford

Project:

Expiration: 10/23/2019

Valuation: \$17,500.00

Service Change Out: Up to 100 Amps: No

Central Electric (EMC): No

Acres: 0.546084

Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No

Power Co.: DUKE

Main Address: 2300 Radius Cir

Parcel: 9632-87-1882-00

Last Inspection: 04/26/2019

Assigned To:

ELER-001276-2019

Status: Complete

Application Date: 04/01/2019

Zone: R-10/MH R-10/MH

Additional Info:

Duke Energy: No

Progress Energy: No

Standalone Electrical Permit: No

Subdivision:

Description: SERVICE CHANGE 200AMP

Type: Electrical (Residential)

Workclass: Service Change

Issue Date: 04/01/2019

Sq Ft: 0

District: Broadway ETJ

Project:

Expiration: 10/15/2019

Valuation: \$0.00

Service Change Out: Up to 100 Amps: No

Central Electric (EMC): No

Acres: 0.599179

Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No

Power Co.: DUKE

Main Address: 707 Burgess Cir

Parcel: 9682-63-3054-00

Last Inspection: 04/18/2019

Assigned To:

ELER-001283-2019

Status: Issued

Application Date: 04/01/2019

Zone: R-12 R-12 Residential Mixed

Additional Info:

Building Permit #: 910

Duke Energy: Yes

Progress Energy: No

Standalone Electrical Permit: No

Subdivision: NOTTINGHAM

Description: WIRING OF NEW SFD (200 AMPS)

Type: Electrical (Residential)

Workclass: New Construction

Issue Date: 04/01/2019

Sq Ft: 3,114

District: Sanford

Project:

Expiration: 09/29/2019

Valuation: \$122,543.00

Service Change Out: Up to 100 Amps: No

Central Electric (EMC): No

Acres: 0.44

Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No

Power Co.: DUKE

Main Address: 1000 Archer Ln

Parcel: 9643-44-0967-00

Last Inspection: 04/02/2019

Assigned To:

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

**ELER-001285-2019**  
 Status: Issued  
 Application Date: 04/01/2019  
 Zone: R-20 R-20  
 Additional Info:  
 Building Permit #: 049  
 Type: Electrical (Residential)  
 Workclass: New Construction  
 Issue Date: 04/01/2019  
 Sq Ft: 3,418  
 Duke Energy: Yes  
 Progress Energy: No  
 Subdivision: AUTUMNWOOD  
 Standalone Electrical Permit: No  
 Power Co.: DUKE  
 Description: WIRING OF NEW SFD  
 PLAN CASE# PRES-10-18-10542

District: Sanford  
 Project: 510 Boulderbrook Pkwy  
 Expiration: 10/06/2019  
 Valuation: \$210,000.00  
 Main Address: Sanford, NC 27330  
 Last Inspection: 04/09/2019  
 Assigned To:  
 Service Change Out: Up to 100 Amps: No  
 Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No  
 Central Electric (EMC): No  
 Total Amperage: 200  
 Acres: 0.459135

**ELER-001294-2019**  
 Status: Complete  
 Application Date: 04/02/2019  
 Zone: R-12 R-12 Residential Mixed  
 Additional Info:  
 Duke Energy: Yes  
 Progress Energy: No  
 Central Electric (EMC): No  
 Description: TREE BRANCHES TORE POWER LINES; NEED RESTORATION

District: Sanford  
 Project: 529 Bracken St  
 Expiration: 10/01/2019  
 Valuation: \$0.00  
 Main Address: Sanford, NC 27330  
 Last Inspection: 04/04/2019  
 Assigned To:  
 Service Change Out: Up to 100 Amps: No  
 Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No  
 Central Electric (EMC): No  
 Acres: 0.238684  
 Power Co.: DUKE  
 Standalone Electrical Permit: Yes  
 Subdivision: MCKERNON HEIGHTS

**ELER-001304-2019**  
 Status: Issued  
 Application Date: 04/02/2019  
 Zone: RR RR  
 Additional Info:  
 Building Permit #: 0640  
 Type: Electrical (Residential)  
 Workclass: Addition  
 Issue Date: 04/02/2019  
 Sq Ft: 0  
 Duke Energy: Yes  
 Progress Energy: No  
 Subdivision: CAROLINA TRACE  
 Standalone Electrical Permit: No  
 Flood Zone: AE  
 Description: (1) LIGHT & (5) RECEPETS INSTALL; NOT WHOLE GARAGE

District: Lee County (Unincorporated)  
 Project: 861 Eagles Nest Dr  
 Expiration: 10/02/2019  
 Valuation: \$15,000.00  
 Main Address: Sanford, NC 27332  
 Last Inspection: 04/05/2019  
 Assigned To:  
 Service Change Out: Up to 100 Amps: No  
 Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No  
 Central Electric (EMC): No  
 Acres: 0.159138  
 Power Co.: DUKE

**ELER-001305-2019**  
 Status: Issued  
 Application Date: 04/02/2019  
 Zone: RR RR  
 Additional Info:  
 Duke Energy: No  
 Progress Energy: No  
 Description: LIGHTS AND FIXTURES INSTALL  
 PROPOSED INTERIOR RENOVATION TO EXISTING SFD; ADDITION OF STAIRS LEADING TO BASEMENT, HEATING AND COOLING OF SAME. NO ADDITIONAL SQUARE FOOTAGE OR EXPANSION OF FOOTPRINT. ADDITION OF MASTER CLOSET; MOVING LAUNDRY FACILITIES TO GARAGE AREA. ELECTRICAL, PLUMBING, MECHANICAL PERMITS WILL BE NEEDED.

District: Lee County (Unincorporated)  
 Project: 1818 Rye Rd  
 Expiration: 09/29/2019  
 Valuation: \$22,000.00  
 Main Address: Sanford, NC 27332  
 Last Inspection:  
 Assigned To:  
 Service Change Out: Up to 100 Amps: No  
 Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No  
 Central Electric (EMC): No  
 Acres: 0.23486  
 Power Co.: DUKE  
 Standalone Electrical Permit: No  
 Subdivision: CAROLINA TRACE



PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

<b>ELER-001313-2019</b> Status: Complete Application Date: 04/03/2019 Zone: R-12 R-12 Residential Mixed Additional Info: Duke Energy: Yes	Type: Electrical (Residential) Workclass: Service Change Issue Date: 04/03/2019 Sq Ft: 0	District: Sanford ETJ Project: Expiration: 10/27/2019 Valuation: \$0.00	Main Address: Parcel: 9641-38-8618-00 Last Inspection: 04/30/2019	1501 Fire Tower Rd Sanford, NC 27330 Final Date: 04/30/2019 Assigned To:
Progress Energy: No Description: INSTALLATION OF A 22 KW GENERATOR AND SERVICE PANEL CHANGE (200 AMPS) OUT	Service Change Out: Up to 100 Amps No Central Electric (EMC): No Acres: 5.9044	Service Change Out: 125 to 200 Amps Yes Acres: 5.9044	Electrical - Fire Alarm: No Power Co.: DUKE	Standalone Electrical Permit: Yes Subdivision:
<b>ELER-001327-2019</b> Status: Issued Application Date: 04/04/2019 Zone: RR RR Additional Info: Building Permit #: BRES-000401-2018	Type: Electrical (Residential) Workclass: New Construction Issue Date: 04/04/2019 Sq Ft: 2,153	District: Lee County (Unincorporated) Project: Expiration: 10/15/2019 Valuation: \$200,000.00	Main Address: Parcel: 9670-25-1855-00 Last Inspection: 04/18/2019	1385 Illinois Ave Sanford, NC 27332 Final Date: Assigned To:
Standalone Electrical Permit: No Power Co.: DUKE Description: NEW SFD	Duke Energy: No Progress Energy: No Subdivision: CAROLINA TRACE	Service Change Out: Up to 100 Amps No Central Electric (EMC): No	Service Change Out: 125 to 200 Amps No Total Amperage: 200	Electrical - Fire Alarm: No Acres: 0.21448
<b>ELER-001346-2019</b> Status: Issued Application Date: 04/05/2019 Zone: RR RR Additional Info: Building Permit #: BRES-000412-2018	Type: Electrical (Residential) Workclass: New Construction Issue Date: 04/05/2019 Sq Ft: 3,152	District: Lee County (Unincorporated) Project: Expiration: 10/23/2019 Valuation: \$355,000.00	Main Address: Parcel: 9529-99-3591-00 Last Inspection: 04/26/2019	7903 Bobwhite Ln Sanford, NC 27332 Final Date: Assigned To:
Standalone Electrical Permit: No Subdivision: QUAIL RIDGE Description: NEW SFD	Duke Energy: No Progress Energy: No	Service Change Out: Up to 100 Amps No Central Electric (EMC): No	Service Change Out: 125 to 200 Amps No Total Amperage: 200	Electrical - Fire Alarm: No Acres: 0.855442
<b>ELER-001347-2019</b> Status: Issued Application Date: 04/05/2019 Zone: R-20/MH R-20/MH Additional Info: Building Permit #: 1234	Type: Electrical (Residential) Workclass: Manufactured Home Issue Date: 04/05/2019 Sq Ft: 0	District: Sanford Project: Expiration: 10/06/2019 Valuation: \$0.00	Main Address: Parcel: 9661-29-8271-00 Last Inspection: 04/09/2019	127 Coralberry Cir Sanford, NC 27330 Final Date: Assigned To:
Electrical - Fire Alarm: No Power Co.: CEMC Description: WIRING 2019 16X76' SW SET UP	Duke Energy: No Standalone Electrical Permit: No Subdivision:	Service Change Out: Up to 100 Amps No Progress Energy: No	Service Change Out: 125 to 200 Amps No Central Electric (EMC): Yes	Manufactured Home Subclass: Single-Wide Acres: 39.99

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

<b>ELER-001348-2019</b> Status: Issued Application Date: 04/05/2019 Zone: R-20/MH R-20/MH Additional Info: Building Permit #: 1233 Electrical - Fire Alarm: No Power Co.: CEMC Description: WIRING 2019 16'X76' SW SET-UP	Type: Electrical (Residential) Workclass: Manufactured Home Issue Date: 04/05/2019 Sq Ft: 0 Duke Energy: No Standalone Electrical Permit: No Subdivision:	District: Sanford Project: Expiration: 10/02/2019 Valuation: \$0.00 Service Change Out: Up to 100 Amps: No Progress Energy: No	Main Address: Parcel: 9661-29-8271-00 Last Inspection: Service Change Out: 125 to 200 Amps: No Central Electric (EMC): Yes Acres: 39.99 Manufactured Home Subclass: Single-Wide	128 Coralberry Cir Sanford, NC 27330 Final Date: Assigned To:
<b>ELER-001349-2019</b> Status: Issued Application Date: 04/05/2019 Zone: R-20/MH R-20/MH Additional Info: Building Permit #: 1236 Electrical - Fire Alarm: No Power Co.: CEMC Description: WIRING 2019 16'X76' SINGLE-WIDE SET UP	Type: Electrical (Residential) Workclass: Manufactured Home Issue Date: 04/05/2019 Sq Ft: 0 Duke Energy: No Standalone Electrical Permit: No Subdivision:	District: Sanford Project: Expiration: 10/06/2019 Valuation: \$0.00 Service Change Out: Up to 100 Amps: No Progress Energy: No	Main Address: Parcel: 9661-29-8271-00 Last Inspection: 04/09/2019 Service Change Out: 125 to 200 Amps: No Central Electric (EMC): Yes Acres: 39.99 Manufactured Home Subclass: Single-Wide	20 Willow Cir Sanford, NC 27330 Final Date: Assigned To:
<b>ELER-001350-2019</b> Status: Issued Application Date: 04/05/2019 Zone: R-20/MH R-20/MH Additional Info: Building Permit #: 1235 Electrical - Fire Alarm: No Power Co.: CEMC Description: WIRING 2019 16'X76' SW SET-UP	Type: Electrical (Residential) Workclass: Manufactured Home Issue Date: 04/05/2019 Sq Ft: 0 Duke Energy: No Standalone Electrical Permit: No Subdivision:	District: Sanford Project: Expiration: 10/02/2019 Valuation: \$0.00 Service Change Out: Up to 100 Amps: No Progress Energy: No	Main Address: Parcel: 9661-29-8271-00 Last Inspection: Service Change Out: 125 to 200 Amps: No Central Electric (EMC): Yes Acres: 39.99 Manufactured Home Subclass: Single-Wide	125 Coralberry Cir Sanford, NC 27330 Final Date: Assigned To:
<b>ELER-001351-2019</b> Status: Issued Application Date: 04/05/2019 Zone: R-20/MH R-20/MH Additional Info: Building Permit #: 1232 Electrical - Fire Alarm: No Power Co.: CEMC Description: 2019 16'X76' SINGLE-WIDE MOBILE HOME SET-UP	Type: Electrical (Residential) Workclass: New Construction Issue Date: 04/05/2019 Sq Ft: 0 Duke Energy: No Standalone Electrical Permit: No Subdivision:	District: Sanford Project: Expiration: 10/02/2019 Valuation: \$0.00 Service Change Out: Up to 100 Amps: No Progress Energy: No	Main Address: Parcel: 9661-29-8271-00 Last Inspection: Service Change Out: 125 to 200 Amps: No Central Electric (EMC): Yes Acres: 39.99 Manufactured Home Subclass: Single-Wide	126 Coralberry Cir Sanford, NC 27330 Final Date: Assigned To:

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

**ELER-001355-2019**  
 Status: Issued  
 Application Date: 04/08/2019  
 Zone: RA RA Residential Agricultural  
 Additional Info:  
 Building Permit #: BRES-000827-2019  
 Type: Electrical (Residential)  
 Workclass: Miscellaneous  
 Issue Date: 04/08/2019  
 Sq Ft: 0  
 Duke Energy: No  
 Progress Energy: No  
 Subdivision:  
 Standalone Electrical Permit: No  
 Power Co.: CEMC  
 Description: OUTLETS/FIXTURES FOR INTERIOR RENOVATION (ELECTRICAL, TILE BATHROOMS AND LAUNDRY ROOM, FLOORING, KITCHEN APPLIANCES AND CABINETRY)

District: Lee County (Unincorporated)  
 Project: 3607 Nicholson Rd  
 Cameron, NC 28326  
 Parcel: 9537-75-2076-00  
 Last Inspection: 04/11/2019  
 Finaled Date:  
 Assigned To:  
 Service Change Out: Up to 100 Amps: No  
 Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No  
 Central Electric (EMC): No  
 Watershed: LITTLE RIVER / LEE COUNTY  
 Acres: 1.13525

**ELER-001357-2019**  
 Status: Complete  
 Application Date: 04/08/2019  
 Zone: RA RA Residential Agricultural  
 Additional Info:  
 Duke Energy: No  
 Progress Energy: No  
 Description: WIRING OF PROPOSED OFF-FRAME MODULAR HOME TO BE LOCATED ON NEWLY-CREATED 2.00 ACRE LOT (PC 2018 / SL 155).

District: Lee County (Unincorporated)  
 Project: 5954 Olivia Rd  
 Sanford, NC 27332  
 Parcel: 9558-62-0534-00  
 Last Inspection: 05/01/2019  
 Finaled Date: 05/01/2019  
 Assigned To:  
 Standalone Electrical Permit: No  
 Power Co.: CEMC  
 Subdivision:

**ELER-001360-2019**  
 Status: Issued  
 Application Date: 04/09/2019  
 Zone: RR RR  
 Additional Info:  
 Building Permit #: BRES-000564-2019  
 Type: Electrical (Residential)  
 Workclass: New Construction  
 Issue Date: 04/08/2019  
 Sq Ft: 1,656  
 Duke Energy: No  
 Progress Energy: No  
 Flood Zone: AE  
 Standalone Electrical Permit: No  
 Acres: 0.126925  
 Description: WIRING OF RENOVATIONS INTERIOR EXTERIOR FOUNDATION DUE TO FLOOD DAMAGE

District: Lee County (Unincorporated)  
 Project: CAROLINA TRACE  
 Expiration: 10/06/2019  
 Valuation: \$87,495.00  
 Service Change Out: Up to 100 Amps: No  
 Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No  
 Central Electric (EMC): No  
 Historic District: NO  
 FEMA Map Number: 371096600J  
 Subdivision: CAROLINA TRACE  
 Main Address: 955 South Rd, BAY  
 Sanford, NC 27332  
 Parcel: 9660-92-0137-00  
 Last Inspection: 04/09/2019  
 Finaled Date:  
 Assigned To:

**ELER-001362-2019**  
 Status: Issued  
 Application Date: 04/09/2019  
 Zone: R-12 R-12 Residential Mixed  
 Additional Info:  
 Building Permit #: BRES-000638-2019  
 Type: Electrical (Residential)  
 Workclass: Alteration  
 Issue Date: 04/09/2019  
 Sq Ft: 0  
 Duke Energy: No  
 Standalone Electrical Permit: No  
 Power Co.: DUKE  
 Description: RE-WIRE FROM FIRE DAMAGE NO EXPANSION OF FOOTPRINT INTERIOR AND EXTERIOR RENOVATION

District: Sanford  
 Project: 606 N Steele St  
 Sanford, NC 27330  
 Parcel: 9643-52-2315-00  
 Last Inspection: 04/11/2019  
 Finaled Date:  
 Assigned To:  
 Service Change Out: Up to 100 Amps: No  
 Service Change Out: 125 to 200 Amps: Number of Room Additions: 1  
 Progress Energy: No  
 Subdivision: Central Electric (EMC): No  
 Acres: 0.528502

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

<b>ELER-001368-2019</b>	Type: Electrical (Residential) Workclass: Service Change Issue Date: 04/10/2019 Sq Ft: 0	District: Sanford Project: Expiration: 10/07/2019 Valuation: \$0.00	Main Address: 374 Grant St Sanford, NC 27330 Final Date: Assigned To:
Duke Energy: No	Service Change Out: Up to 100 Amps: No Central Electric (EMC): No	Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No Acres: 3.36745	Standalone Electrical Permit: Yes Subdivision:
Description: INSIDE PANEL CHANGE 100 AMP			
<b>ELER-001376-2019</b>	Type: Electrical (Residential) Workclass: Addition Issue Date: 04/10/2019 Sq Ft: 0	District: Sanford Project: Expiration: 10/20/2019 Valuation: \$0.00	Main Address: 3308 Seth Dr Sanford, NC 27330 Final Date: Assigned To:
Building Permit #: BRES-001375-2019	Duke Energy: No Progress Energy: No Subdivision: DEVROE MEADOWS	Service Change Out: Up to 100 Amps: No Central Electric (EMC): No Acres: 0.319153	Electrical - Fire Alarm: No Power Co.: DUKE
Standalone Electrical Permit: No Flood Zone: SHADED X Description: OUTLETS/FIXTURES '10X24' PORCH ADDITION W/ CONCRETE SLAB ON REAR OF HOME TRANSFERRED FROM DESKTOP VERSION ON 04/10/2019, OLD PERMIT# RES-09-18-32221, FEES WERE PAID WITHIN DESKTOP VERSION PH			
<b>ELER-001406-2019</b>	Type: Electrical (Residential) Workclass: Manufactured Home Issue Date: 04/15/2019 Sq Ft: 0	District: Lee County (Unincorporated) Project: Expiration: 10/20/2019 Valuation: \$0.00	Main Address: 1132 Minter School Rd Sanford, NC 27332 Final Date: 04/23/2019 Assigned To:
Building Permit #: BRES-000987-2019	Duke Energy: No Standalone Electrical Permit: No Subdivision: TWINS PEAK	Service Change Out: Up to 100 Amps: No Progress Energy: No	Manufactured Home Subclass: Double-Wide Acres: 0.935058
Electrical - Fire Alarm: No Power Co.: DUKE Description: 2019 DOUBLE-WIDE SET-UP			
<b>ELER-001409-2019</b>	Type: Electrical (Residential) Workclass: Service Change Issue Date: 04/15/2019 Sq Ft: 0	District: Sanford Project: Expiration: 10/12/2019 Valuation: \$0.00	Main Address: 1803 Windmill Dr Sanford, NC 27330 Final Date: Assigned To:
Building Permit #: BRES-000987-2019	Duke Energy: No Central Electric (EMC): No	Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No Acres: 1.01045	Standalone Electrical Permit: Yes Subdivision:
Electrical - Fire Alarm: No Power Co.: DUKE Description: SERVICE CHANGE 200 AMP			

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

<b>ELER-001410-2019</b>	Type: Electrical (Residential) Workclass: New Construction Issue Date: 04/15/2019 Sq Ft: 2,675	District: Sanford Project: Expiration: 10/12/2019 Valuation: \$170,000.00	Main Address: 210 Southwick Ct Sanford, NC 27330 Parcel: 9660-08-6889-00 Last Inspection: Assigned To:	Service Change Out: Up to 100 Amps: No Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No Central Electric (EMC): No Total Amperage: 200 Acres: 0.4
<b>Building Permit #: BRES-001248-2019</b>	Duke Energy: No Progress Energy: No Subdivision: PARK AT SOUTH PARK			
<b>Standalone Electrical Permit: No</b>				
<b>Power Co.: DUKE</b>				
<b>Description: NEW SFD</b>				
CONTRACTOR REQUESTED A CHANGE OF PLANS ON 04/12/2019, I OBTAINED PLANNING AND ZONING APPROVAL FOR REVISED PLOT PLAN AND CHANGE OF PLANS. CHANGE OF SQUARE FOOTAGE IS NOT SIGNIFICANT ENOUGH TO ADD ADDITIONAL FEE. PH				
<b>ELER-001426-2019</b>	Type: Electrical (Residential) Workclass: Repair Issue Date: 04/15/2019 Sq Ft: 0	District: Sanford Project: Expiration: 10/12/2019 Valuation: \$0.00	Main Address: 2704 Charwood Pl Sanford, NC 27330 Parcel: 9633-48-1932-00 Last Inspection: 04/15/2019 Assigned To:	Service Change Out: Up to 100 Amps: No Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No Central Electric (EMC): No Acres: 0.711019 Power Co.: DUKE Standalone Electrical Permit: Yes Subdivision: HIDDEN VALLEY
<b>Status: Complete</b>				
<b>Application Date: 04/15/2019</b>				
<b>Zone: R-20 R-20</b>				
<b>Additional Info:</b>				
<b>Duke Energy: No</b>				
<b>Progress Energy: No</b>				
<b>Description: TREE PULLED MASK OFF REPAIR</b>				
<b>ELER-001440-2019</b>	Type: Electrical (Residential) Workclass: Service Change Issue Date: 04/17/2019 Sq Ft: 0	District: Sanford Project: Expiration: 10/19/2019 Valuation: \$0.00	Main Address: 528 Cross St Sanford, NC 27330 Parcel: 9643-30-8084-00 Last Inspection: 04/22/2019 Assigned To:	Service Change Out: Up to 100 Amps: No Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No Central Electric (EMC): No Acres: 0.711019 Power Co.: DUKE Standalone Electrical Permit: Yes
<b>Status: Complete</b>				
<b>Application Date: 04/17/2019</b>				
<b>Zone:</b>				
<b>Additional Info:</b>				
<b>Duke Energy: Yes</b>				
<b>Progress Energy: No</b>				
<b>Description: 22 KW GENERATOR INSTALL &amp; 200 AMP SERVICE CHANGE</b>				
<b>ELER-001444-2019</b>	Type: Electrical (Residential) Workclass: Miscellaneous Issue Date: 04/17/2019 Sq Ft: 0	District: Sanford ETJ Project: Expiration: 10/14/2019 Valuation: \$4,500.00	Main Address: 3812 Northgate Cir Sanford, NC 27332 Parcel: 9651-02-6494-00 Last Inspection: Assigned To:	Service Change Out: Up to 100 Amps: No Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No Central Electric (EMC): No Acres: 0.478411 Power Co.: DUKE Standalone Electrical Permit: No Subdivision: ST ANDREWS
<b>Status: Issued</b>				
<b>Application Date: 04/17/2019</b>				
<b>Zone: R-20 R-20</b>				
<b>Additional Info:</b>				
<b>Duke Energy: No</b>				
<b>Progress Energy: No</b>				
<b>Description: INTERIOR RENOVATIONS FOR DETACHED GARAGE; INSTALLING LIGHTS, OUTLETS AND SWITCHES</b>				

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

**ELER-001446-2019**  
 Status: Issued  
 Application Date: 04/17/2019  
 Zone: R-20 R-20  
 Additional Info: Building Permit #: 01091  
 Duke Energy: Yes  
 Progress Energy: No  
 Description: WIRING OF EXISTING ACCESSORY STRUCTURE

Type: Electrical (Residential)  
 Workclass: Accessory Structure  
 Issue Date: 04/17/2019  
 Sq Ft: 0  
 Service Change Out: Up to 100 Amps: No  
 Central Electric (EMC): No

District: Lee County (Unincorporated)  
 Project: 5410 Farrell Rd  
 Parcel: 9667-04-7194-00  
 Expiration: 10/14/2019  
 Valuation: \$0.00  
 Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No  
 Standalone Electrical Permit: Yes

Assigned To:

**ELER-001453-2019**  
 Status: Complete  
 Application Date: 04/18/2019  
 Zone: RA RA Residential Agricultural  
 Additional Info: Building Permit #: 01091  
 Duke Energy: Yes  
 Description: PERMANENT WELL PUMP SERVICE FOR COPPER RIDGE EAST (MAX 100 AMPS)

Type: Electrical (Residential)  
 Workclass: Miscellaneous  
 Issue Date: 04/18/2019  
 Sq Ft: 0  
 Service Change Out: Up to 100 Amps: No  
 Central Electric (EMC): No

District: Lee County (Unincorporated)  
 Project: 3446 Farrell Rd  
 Parcel: 9666-47-2020-00  
 Expiration: 10/19/2019  
 Valuation: \$0.00  
 Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No  
 Standalone Electrical Permit: Yes

Assigned To:

**ELER-001459-2019**  
 Status: Complete  
 Application Date: 04/22/2019  
 Zone: LI LI Light Industrial  
 Additional Info: Building Permit #: 01091  
 Duke Energy: No  
 Progress Energy: No  
 Description: 200 AMP SERVICE CHANGE

Type: Electrical (Residential)  
 Workclass: Service Change  
 Issue Date: 04/22/2019  
 Sq Ft: 0  
 Service Change Out: Up to 100 Amps: No  
 Central Electric (EMC): No

District: Sanford  
 Project: 76 Thornwood Ct  
 Parcel: 9662-73-6198-00  
 Expiration: 10/20/2019  
 Valuation: \$0.00  
 Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No  
 Standalone Electrical Permit: Yes

Assigned To:

**ELER-001469-2019**  
 Status: Issued  
 Application Date: 04/22/2019  
 Zone: R-20 R-20  
 Additional Info: Building Permit #: 01091  
 Duke Energy: Yes  
 Progress Energy: No  
 Description: 10'X20' SUNROOM ADDITION; ONLY INSTALLING (2) RECEPITS & CEILING FAN

Type: Electrical (Residential)  
 Workclass: Miscellaneous  
 Issue Date: 04/22/2019  
 Sq Ft: 0  
 Service Change Out: Up to 100 Amps: No  
 Central Electric (EMC): No

District: Sanford  
 Project: 2617 Chippendale Trl  
 Parcel: 9632-66-8542-00  
 Expiration: 10/22/2019  
 Valuation: \$0.00  
 Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No  
 Standalone Electrical Permit: Yes

Assigned To:

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

<b>ELER-001475-2019</b> Status: Issued Application Date: 04/22/2019 Zone: RA RA Residential Agricultural Additional Info: Building Permit #: BRES-000963-2019 Standalone Electrical Permit: No Acres: 1.17 Description: WIRING OF 200 AMP SFD	Type: Electrical (Residential) Workclass: New Construction Issue Date: 04/22/2019 Sq Ft: 3,679 Duke Energy: No Progress Energy: No Power Co.: DUKE	District: Lee County (Unincorporated) Project: Expiration: 10/20/2019 Valuation: \$180,174.00 Service Change Out: Up to 100 Amps: No Central Electric (EMC): No Subdivision: COPPER RIDGE EAST	Main Address: Parcel: 9666-45-4298-00 Last Inspection: 04/24/2019 Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No Total Amperage: 200 Watershed: CAPE FEAR / LEE COUNTY	212 Ore Run Ln Sanford, NC 27330 Final Date: Assigned To:
<b>ELER-001493-2019</b> Status: Issued Application Date: 04/23/2019 Zone: RA RA Residential Agricultural Additional Info: Duke Energy: No Progress Energy: No Subdivision: COUNTRY ESTATES OF LOWER RIVER RD Description: 32'X76' 2019 DOUBLEWIDE	Type: Electrical (Residential) Workclass: Manufactured Home Issue Date: 04/23/2019 Sq Ft: 0 Service Change Out: Up to 100 Amps: No Central Electric (EMC): No Duke Energy: No Progress Energy: No Subdivision: COUNTRY ESTATES OF LOWER RIVER RD Description: 32'X76' 2019 DOUBLEWIDE	District: Lee County (Unincorporated) Project: Expiration: 10/26/2019 Valuation: \$0.00 Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No Watershed: CAPE FEAR / LEE COUNTY	Main Address: Parcel: 9686-21-8966-00 Last Inspection: 04/29/2019 Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No Acres: 0.97 Standalone Electrical Permit: No Power Co.: GEMC	2843 Lower River Rd Sanford, NC 27330 Final Date: Assigned To:
<b>ELER-001499-2019</b> Status: Issued Application Date: 04/23/2019 Zone: RR RR Additional Info: Duke Energy: Yes Progress Energy: No Description: METER BASE REPAIR FOR POWER RESTORATION; DUKE NEEDS INSPECTION	Type: Electrical (Residential) Workclass: Power Restoration Issue Date: 04/23/2019 Sq Ft: 0 Service Change Out: Up to 100 Amps: No Central Electric (EMC): No Duke Energy: Yes Progress Energy: No Description: METER BASE REPAIR FOR POWER RESTORATION; DUKE NEEDS INSPECTION	District: Lee County (Unincorporated) Project: Expiration: 10/20/2019 Valuation: \$0.00 Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No Acres: 0.721844	Main Address: Parcel: 9641-31-7364-00 Last Inspection: Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No Power Co.: DUKE	3137 Parkwood Dr Sanford, NC 27332 Final Date: Assigned To: Standalone Electrical Permit: Yes Subdivision: PARKWOOD ESTATES
<b>ELER-001502-2019</b> Status: Issued Application Date: 04/24/2019 Zone: RA RA Residential Agricultural Additional Info: Building Permit #: BRES-000863-2019 Standalone Electrical Permit: No Power Co.: DUKE Description: 200 AMP WIRING OF NEW SFD	Type: Electrical (Residential) Workclass: New Construction Issue Date: 04/24/2019 Sq Ft: 2,830 Duke Energy: No Progress Energy: No Subdivision:	District: Lee County (Unincorporated) Project: Expiration: 11/02/2019 Valuation: \$185,000.00 Service Change Out: Up to 100 Amps: No Central Electric (EMC): No	Main Address: Parcel: 9661-84-8279-00 Last Inspection: 05/06/2019 Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No Total Amperage: 200 Acres: 1.23	828 Cox Maddox Rd Sanford, NC 27330 Final Date: Assigned To:

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

<b>ELER-001504-2019</b>	Type: Electrical (Residential) Workclass: Service Change Issue Date: 04/24/2019 Sq Ft: 0	District: Sanford Project: Expiration: 10/23/2019 Valuation: \$0.00	Main Address: Parcel: 9633-04-0217-00 Last Inspection: 04/26/2019	2634 Wellington Dr Sanford, NC 27330 Final Date: 04/26/2019 Assigned To:
Duke Energy: Yes	Service Change Out: Up to 100 Amps: No Central Electric (EMC): No	Service Change Out: 125 to 200 Amps: Yes Watershed: DEEP RIVER / LEE COUNTY	Electrical - Fire Alarm: No Acres: 0.88	Standalone Electrical Permit: Yes Power Co.: DUKE
Progress Energy: No	Subdivision: WESTLAKE DOWNS Description: SERVICE CHANGE 200AMP			
<b>ELER-001505-2019</b>	Type: Electrical (Residential) Workclass: Service Change Issue Date: 04/24/2019 Sq Ft: 0	District: Lee County (Unincorporated) Project: Expiration: 10/28/2019 Valuation: \$0.00	Main Address: Parcel: 9631-13-1372-00 Last Inspection: 05/01/2019	719 Center Church Rd Sanford, NC 27330 Final Date: 05/01/2019 Assigned To:
Duke Energy: Yes	Service Change Out: Up to 100 Amps: No Central Electric (EMC): No	Service Change Out: 125 to 200 Amps: Yes Acres: 0.902872	Electrical - Fire Alarm: No Power Co.: DUKE	Standalone Electrical Permit: Yes Subdivision:
Progress Energy: No	Description: 200 AMP SERVICE CHANGE			
<b>ELER-001507-2019</b>	Type: Electrical (Residential) Workclass: Miscellaneous Issue Date: 04/24/2019 Sq Ft: 0	District: Lee County (Unincorporated) Project: Expiration: 10/22/2019 Valuation: \$0.00	Main Address: Parcel: 9667-15-7929-00 Last Inspection: 04/25/2019	5420 Deep River Rd Sanford, NC 27330 Final Date: 04/24/2019 Assigned To:
Duke Energy: Yes	Service Change Out: Up to 100 Amps: No Central Electric (EMC): No	Service Change Out: 125 to 200 Amps: No Watershed: CAPE FEAR / LEE COUNTY	Electrical - Fire Alarm: No Acres: 1.03234	Standalone Electrical Permit: Yes Power Co.: DUKE
Progress Energy: No	Subdivision: FRIENDSHIP VILLAGE Description: METER BASE REPAIR DUE TO DAMAGED LUG;			
<b>ELER-001531-2019</b>	Type: Electrical (Residential) Workclass: Alteration Issue Date: 04/25/2019 Sq Ft: 0	District: Lee County (Unincorporated) Project: Expiration: 10/30/2019 Valuation: \$28,000.00	Main Address: Parcel: 9657-72-6128-00 Last Inspection: 05/03/2019	4341 Deep River Rd Sanford, NC 27330 Final Date: 05/03/2019 Assigned To:
Duke Energy: No	Service Change Out: Up to 100 Amps: No Central Electric (EMC): No	Service Change Out: 125 to 200 Amps: No Acres: 1.355	Electrical - Fire Alarm: No Central Electric (EMC): No	Standalone Electrical Permit: No Power Co.: DUKE
Progress Energy: No	Building Permit #: 01246 Subdivision: Description: WIRING OF INSTALL SOLAR PANELS ON PANELS ON ROOF			



PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

**ELER-001555-2019**  
 Status: Issued  
 Application Date: 04/26/2019  
 Zone: R-14 R-14 Residential Single-Family  
 Additional Info:  
 Building Permit #: 0645  
 Type: Electrical (Residential)  
 Workclass: New Construction  
 Issue Date: 04/26/2019  
 Sq Ft: 2,740  
 District: Sanford  
 Project: 9633-01-8080-00  
 Expiration: 10/23/2019  
 Valuation: \$150,000.00  
 Main Address: 2518 Creek Th Sanford, NC 27330  
 Last Inspection:  
 Assigned To:  
 Duke Energy: No  
 Progress Energy: No  
 Acres: 0.813929  
 Service Change Out: Up to 100 Amps: No  
 Central Electric (EMC): Yes  
 Power Co.: CEMC  
 Flood Zone: AE  
 Standalone Electrical Permit: No  
 Watershed: DEEP RIVER / LEE COUNTY  
 Description: WIRING OF NEW SFD  
 FEMA Map Number: 3710963300J  
 Subdivision: WILLOWBROOKE  
 Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No  
 Total Amperage: 200

**ELER-001577-2019**  
 Status: Issued  
 Application Date: 04/29/2019  
 Zone: RA RA Residential Agricultural  
 Additional Info:  
 Duke Energy: No  
 Progress Energy: No  
 Subdivision:  
 Description: WIRING OF PROPOSED ENCLOSING OF EXISTING CARPORT. ALSO COVERING AN EXISTING 16' X 16' PATIO WITH (BUT NEW COVER/STRUCTURE WILL ONLY EXTEND TO 10' X 16').  
 Type: Electrical (Residential)  
 Workclass: Miscellaneous  
 Issue Date: 04/29/2019  
 Sq Ft: 160  
 District: Lee County (Unincorporated)  
 Project: 9662-95-9733-00  
 Expiration: 10/26/2019  
 Valuation: \$28,000.00  
 Main Address: 764 Thomas Rd Sanford, NC 27330  
 Last Inspection:  
 Assigned To:  
 Duke Energy: No  
 Progress Energy: No  
 Acres: 5.49182  
 Service Change Out: Up to 100 Amps: No  
 Central Electric (EMC): No  
 Watershed: CAPE FEAR / LEE COUNTY  
 Standalone Electrical Permit: No  
 Power Co.: CEMC

**ELER-001578-2019**  
 Status: Complete  
 Application Date: 04/29/2019  
 Zone: R-6 R-6  
 Additional Info:  
 Duke Energy: No  
 Progress Energy: No  
 Description: REPAIR WIRING FROM STORM DAMAGE  
 Type: Electrical (Residential)  
 Workclass: Repair  
 Issue Date: 04/29/2019  
 Sq Ft: 0  
 District: Sanford  
 Project: 9642-87-1535-00  
 Expiration: 10/26/2019  
 Valuation: \$0.00  
 Main Address: 607 Magnolia St Sanford, NC 27330  
 Last Inspection: 04/29/2019  
 Assigned To:  
 Service Change Out: Up to 100 Amps: No  
 Central Electric (EMC): No  
 Acres: 0.20616  
 Standalone Electrical Permit: Yes  
 Power Co.: DUKE  
 Subdivision: SUNSET TERRACE

**ELER-001586-2019**  
 Status: Issued  
 Application Date: 04/30/2019  
 Zone: RA RA Residential Agricultural  
 Additional Info:  
 Duke Energy: Yes  
 Progress Energy: No  
 Description: REPLACING METER BOX & PANEL; 200 AMP SERVICE EXISTING  
 Type: Electrical (Residential)  
 Workclass: Miscellaneous  
 Issue Date: 04/30/2019  
 Sq Ft: 0  
 District: Lee County (Unincorporated)  
 Project: 9681-16-0228-00  
 Expiration: 10/27/2019  
 Valuation: \$0.00  
 Main Address: 976 Swanns Station Rd Sanford, NC 27332  
 Last Inspection:  
 Assigned To:  
 Service Change Out: Up to 100 Amps: No  
 Central Electric (EMC): No  
 Acres: 1.39  
 Standalone Electrical Permit: Yes  
 Power Co.: DUKE  
 Subdivision: SAM FLOWE

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

**ELER-001591-2019**  
 Status: Issued  
 Application Date: 04/30/2019  
 Zone: R-20 R-20  
 Additional Info:  
 Duke Energy: No  
 Progress Energy: No  
 Description: OUTLET FOR FIREPLACE INSTALL

Type: Electrical (Residential)  
 Workclass: Miscellaneous  
 Issue Date: 04/30/2019  
 Sq Ft: 0

Service Change Out: Up to 100 Amps: No  
 Central Electric (EMC): No

District: Sanford  
 Project:  
 Expiration: 10/27/2019  
 Valuation: \$0.00

Main Address:  
 Parcel: 96333-43-2119-00  
 Last Inspection:

Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No  
 Acres: 0.942208

Power Co.: DUKE

1505 Cranberry Ln  
 Sanford, NC 27330  
 Finaled Date:  
 Assigned To:

Standalone Electrical Permit: Yes  
 Subdivision: WESTLAKE VALLEY

**ELER-001592-2019**  
 Status: Complete  
 Application Date: 04/30/2019  
 Zone: RA RA Residential Agricultural  
 Additional Info:  
 Duke Energy: No  
 Progress Energy: No  
 Description: POWER RESTORATION

Type: Electrical (Residential)  
 Workclass: Power Restoration  
 Issue Date: 04/30/2019  
 Sq Ft: 0

Service Change Out: Up to 100 Amps: No  
 Central Electric (EMC): No

District: Lee County (Unincorporated)  
 Project:  
 Expiration: 11/02/2019  
 Valuation: \$0.00

Main Address:  
 Parcel: 9519-48-6961-00  
 Last Inspection:

Service Change Out: 125 to 200 Amps: Electrical - Fire Alarm: No  
 Acres: 0.976527

Power Co.: DUKE

4120 Chris Cole Rd  
 Sanford, NC 27332  
 Finaled Date: 05/06/2019  
 Assigned To:

Standalone Electrical Permit: Yes  
 Subdivision:

PERMITS ISSUED FOR ELECTRICAL (RESIDENTIAL): 45

**FIRE**

**FIRE-001434-2019**  
 Status: In Review  
 Application Date: 04/16/2019  
 Zone: C-2 C-2 General Commercial  
 Additional Info:  
 New Construction: No  
 Flood Zone: SHADED X, AE  
 Description: MODIFICATION OF FIRE ALARM

Type: Fire  
 Workclass: Fire Alarm  
 Issue Date: 04/16/2019  
 Sq Ft: 0

Re-Test: No  
 Subdivision:

District: Sanford  
 Project:  
 Expiration: 10/13/2019  
 Valuation: \$0.00

Main Address:  
 Parcel: 9643-03-6079-00  
 Last Inspection:

Renovations: Yes  
 Power Co.: DUKE

1351 Plaza Blvd  
 Sanford, NC 27330  
 Finaled Date:  
 Assigned To:

Standby Personnel Needed: No

**FIRE-001494-2019**  
 Status: Issued  
 Application Date: 04/23/2019  
 Zone: LI LJ Light Industrial  
 Additional Info:  
 New Construction: No  
 Number of Sprinkler Systems: 1  
 Description: OK TO PERMIT SPRINKLER ADDITION PER ALEX C. 4/15/2019 (5,250 SQ.FT)

Type: Fire  
 Workclass: Fire Suppression  
 Issue Date: 04/23/2019  
 Sq Ft: 5,250

Re-Test: No  
 Subdivision:

District: Sanford  
 Project:  
 Expiration: 10/20/2019  
 Valuation: \$0.00

Main Address:  
 Parcel: 9634-35-9580-00  
 Last Inspection:

Renovations: No  
 Power Co.: DUKE

2018 Boone Trail Rd  
 Sanford, NC 27330  
 Finaled Date:  
 Assigned To:

Standby Personnel Needed: No

MECHANICAL PERMITS ISSUED FOR FIRE: 2

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

<b>MECH-001265-2019</b> Status: Complete Application Date: 04/01/2019 Zone: RA RA Residential Agricultural Additional Info: Is this a standalone Mechanical Permit?: No Commercial Ductwork Additions: No Description: HP	Type: Mechanical Workclass: Residential Issue Date: 04/01/2019 Sq Ft: 0 New Construction: No Watershed: CAPE FEAR / LEE COUNTY	District: Lee County (Unincorporated) Project: Expiration: 11/02/2019 Valuation: \$0.00 Building Permit #: BRES-001045-2019 Acres: 2.02762	Main Address: Parcel: 9664-89-0777-00 Last Inspection: 05/06/2019 Assigned To: Number of Heat Pump Units: 1 Subdivision:	3038 Lower Moncure Rd Sanford, NC 27330 Final Date: 05/06/2019 Assigned To:
<b>MECH-001267-2019</b> Status: Complete Application Date: 04/01/2019 Zone: RAMH RAMH Additional Info: Is this a standalone Mechanical Permit?: No Commercial Ductwork Additions: No Description: HP	Type: Mechanical Workclass: Residential Issue Date: 04/01/2019 Sq Ft: 0 New Construction: No Watershed: CAPE FEAR / LEE COUNTY	District: Lee County (Unincorporated) Project: Expiration: 10/20/2019 Valuation: \$0.00 Building Permit #: BRES-001044-2019 Acres: 1.18	Main Address: Parcel: 9654-87-3370-00 Last Inspection: 04/23/2019 Assigned To: Number of Heat Pump Units: 1 Subdivision:	1315 Post Office Rd Sanford, NC 27330 Final Date: 04/23/2019 Assigned To:
<b>MECH-001268-2019</b> Status: Complete Application Date: 04/01/2019 Zone: R-12 R-12 Residential Mixed Additional Info: Is this a standalone Mechanical Permit?: Yes Acres: 0.585332 Description: 3 TON HEATPUMP INSTALL	Type: Mechanical Workclass: Residential Issue Date: 04/01/2019 Sq Ft: 0 New Construction: No Power Co.: DUKE	District: Sanford Project: Expiration: 10/07/2019 Valuation: \$0.00 Residential Ductwork Additions: No Subdivision:	Main Address: Parcel: 9652-36-8316-00 Last Inspection: 04/10/2019 Assigned To: Number of Heat Pump Units: 1 Commercial Ductwork Additions: No	1402 Bragg St Sanford, NC 27330 Final Date: 04/10/2019 Assigned To:
<b>MECH-001272-2019</b> Status: Complete Application Date: 04/01/2019 Zone: RA RA Residential Agricultural Additional Info: Is this a standalone Mechanical Permit?: Yes Acres: 47.54 Description: GAS PIPING TO 3 UNITS AND YARD LINE FOR GREENHOUSE	Type: Mechanical Workclass: Non-Residential Issue Date: 04/01/2019 Sq Ft: 0 New Construction: No Power Co.: DUKE	District: Lee County (Unincorporated) Project: Expiration: 10/07/2019 Valuation: \$0.00 Residential Ductwork Additions: No Subdivision:	Main Address: Parcel: 9692-04-3626-00 Last Inspection: 04/10/2019 Assigned To: Gas Piping/Pressure Test Units: 3 Commercial Ductwork Additions: No	6701 Bradley Rd Sanford, NC 27330 Final Date: 04/10/2019 Assigned To:
<b>MECH-001273-2019</b> Status: Complete Application Date: 04/01/2019 Zone: RA RA Residential Agricultural Additional Info:	Type: Mechanical Workclass: Residential Issue Date: 04/01/2019 Sq Ft: 0	District: Lee County (Unincorporated) Project: Expiration: 10/12/2019 Valuation: \$0.00	Main Address: Parcel: 9694-55-7763-00 Last Inspection: 04/15/2019 Assigned To:	4134 Buckhorn Rd Sanford, NC 27330 Final Date: 04/15/2019 Assigned To:

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

<p>Is this a standalone Mechanical Permit?: Yes Commercial Ductwork Additions: No Description: GAS LOGS AND GAS PIPING</p>	<p>New Construction: No Acres: 18.67</p>	<p>Residential Ductwork Additions: No Power Co.: CEMC</p>	<p>Number of Gas Logs/Fireplace Units: 1 Units: 1</p>	<p>Number of Gas Piping/Pressure Test Units: 1</p>
<p><b>MECH-001275-2019</b> Status: Issued Application Date: 04/01/2019 Zone: C-2 C-2 General Commercial Additional Info: Is this a standalone Mechanical Permit?: No Gas Piping/Pressure Test Units: 1 Description: 4 TON GAS FURNACE W/ A/C (100,000 BTUS) &amp; GAS PIPING INSTALL</p>	<p>Type: Mechanical Workclass: Non-Residential Issue Date: 04/01/2019 Sq Ft: 0 New Construction: Yes Commercial Ductwork Additions: No Acres: 0.878251</p>	<p>District: Sanford Project: Expiration: 10/09/2019 Valuation: \$0.00 Building Permit #: 0966 Residential Ductwork Additions: No Power Co.: DUKE</p>	<p>Main Address: Parcel: 9653-20-9071-00 Last Inspection: 04/12/2019 Assigned To: Gas Heating Units w/ A/C Unit BTUs: 100000 Subdivision:</p>	<p>607 Bragg St Sanford, NC 27330 Final Date: Assigned To:</p>
<p><b>MECH-001279-2019</b> Status: Complete Application Date: 04/01/2019 Zone: R-12 R-12 Residential Mixed Additional Info: Is this a standalone Mechanical Permit?: Yes Acres: 0.256776 Description: 2.5 TON GAS FURNACE W/ A/C</p>	<p>Type: Mechanical Workclass: Residential Issue Date: 04/01/2019 Sq Ft: 0 New Construction: No Power Co.: DUKE</p>	<p>District: Sanford Project: Expiration: 10/14/2019 Valuation: \$0.00 Residential Ductwork Additions: No Subdivision:</p>	<p>Main Address: Parcel: 9643-53-7223-00 Last Inspection: 04/17/2019 Assigned To: Commercial Ductwork Additions: No Units: 1</p>	<p>119 Mcgill St Sanford, NC 27330 Final Date: 04/17/2019 Assigned To:</p>
<p><b>MECH-001284-2019</b> Status: Issued Application Date: 04/01/2019 Zone: RR RR Additional Info: Is this a standalone Mechanical Permit?: No Number of Gas Logs/Fireplace Units: 1 Description: GAS PIPING, WATER HEATER, FIREPLACE &amp; GRILL INSTALL TRANSFERRED FROM DESKTOP PERMIT#32158 PLAN CASE# PRES-4-18-10025</p>	<p>Type: Mechanical Workclass: Residential Issue Date: 04/01/2019 Sq Ft: 6,987 New Construction: No Number of Gas Piping/Pressure Test Units: 1</p>	<p>District: Lee County (Unincorporated) Project: Expiration: 09/28/2019 Valuation: \$430,000.00 Building Permit #: 093 Commercial Ductwork Additions: No Acres: 4.55402</p>	<p>Main Address: Parcel: 9612-87-4324-00 Last Inspection: Assigned To: Residential Ductwork Additions: No Acres: 4.55402</p>	<p>203 Dublin Dr Sanford, NC 27330 Final Date: Assigned To: Number of Gas Accessory Units: 2 Subdivision: CREEKWOOD</p>
<p><b>MECH-001293-2019</b> Status: Complete Application Date: 04/02/2019 Zone: R-20 R-20 Additional Info: Is this a standalone Mechanical Permit?: Yes Acres: 0.57757</p>	<p>Type: Mechanical Workclass: Residential Issue Date: 04/02/2019 Sq Ft: 0 New Construction: No Power Co.: DUKE</p>	<p>District: Broadway Project: Expiration: 10/05/2019 Valuation: \$0.00 Residential Ductwork Additions: No Subdivision: EDGEWATER ESTATES</p>	<p>Main Address: Parcel: 9682-05-8885-00 Last Inspection: 04/08/2019 Assigned To: Commercial Ductwork Additions: No Units: 1</p>	<p>204 Edgewater Dr Broadway, NC 27505 Final Date: 04/08/2019 Assigned To: Commercial Ductwork Additions: No</p>

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

Description: GAS LINE TO GENERATOR INSTALL

MECH-001295-2019

Status: Complete  
Application Date: 04/02/2019  
Zone: R-12 R-12 Residential Mixed  
Additional Info:  
Is this a standalone Mechanical Permit?: Yes  
Acres: 6.88276

Type: Mechanical  
Workclass: Residential  
Issue Date: 04/02/2019  
Sq Ft: 0  
New Construction: No  
Power Co.: DUKE

District: Sanford  
Project:  
Expiration: 10/19/2019  
Valuation: \$0.00  
Residential Ductwork Additions: No  
Subdivision:

Main Address:  
Parcel: 9643-30-8084-00  
Last Inspection: 04/22/2019  
Assigned To:  
Commercial Ductwork Additions: No

528 Cross St  
Sanford, NC 27330  
Final Date: 04/22/2019

Description: GAS LINE TO GENERATOR INSTALL

MECH-001300-2019

Status: Issued  
Application Date: 04/02/2019  
Zone: R-20 R-20  
Additional Info:  
Is this a standalone Mechanical Permit?: No  
Acres: 0.33

Type: Mechanical  
Workclass: Residential  
Issue Date: 04/02/2019  
Sq Ft: 0  
New Construction: No  
Power Co.: DUKE

District: Lee County (Unincorporated)  
Project:  
Expiration: 09/30/2019  
Valuation: \$39,881.00  
Building Permit #: 1002  
Subdivision: CAROLINA TRACE  
Residential Ductwork Additions: Yes

Main Address:  
Parcel: 9661-63-3207-00  
Last Inspection: 04/03/2019  
Assigned To:  
Commercial Ductwork Additions: No

645 Chelsea Dr  
Sanford, NC 27332  
Final Date: 04/03/2019

Description: DUCTWORK ADDITIONS

MECH-001301-2019

Status: Complete  
Application Date: 04/02/2019  
Zone: RAM/H RAM/H  
Additional Info:  
Is this a standalone Mechanical Permit?: Yes  
Acres: 8.06676

Type: Mechanical  
Workclass: Residential  
Issue Date: 04/02/2019  
Sq Ft: 0  
New Construction: No  
Power Co.: DUKE

District: Lee County (Unincorporated)  
Project:  
Expiration: 10/14/2019  
Valuation: \$0.00  
Residential Ductwork Additions: No  
Subdivision:

Main Address:  
Parcel: 9640-47-9625-00  
Last Inspection: 04/17/2019  
Assigned To:  
Commercial Ductwork Additions: No

331 Star Ln  
Sanford, NC 27332  
Final Date: 04/17/2019

Description: 2.5 TON SPLIT HEATPUMP INSTALL

MECH-001303-2019

Status: Issued  
Application Date: 04/02/2019  
Zone: RA RA Residential Agricultural  
Additional Info:  
Is this a standalone Mechanical Permit?: No  
Commercial Ductwork Additions: No

Type: Mechanical  
Workclass: Residential  
Issue Date: 04/04/2019  
Sq Ft: 3,679  
New Construction: No  
Watershed: CAPE FEAR / LEE COUNTY

District: Lee County (Unincorporated)  
Project:  
Expiration: 10/20/2019  
Valuation: \$180,174.00  
Building Permit #: 0963  
Acres: 1.17  
Residential Ductwork Additions: No  
Power Co.: DUKE

Main Address:  
Parcel: 9666-45-4298-00  
Last Inspection: 04/23/2019  
Assigned To:  
Number of Gas Logs/Fireplace Units: 1  
Subdivision: COPPER RIDGE EAST

212 Ore Run Ln  
Sanford, NC 27330  
Final Date: 04/23/2019

Description: NEW SFD; 32" GAS FIREPLACE INSTALL

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

<b>MECH-001307-2019</b>	Type: Mechanical Workclass: Residential Issue Date: 04/02/2019 Sq Ft: 0 New Construction: No Power Co.: DUKE	District: Lee County (Unincorporated) Project: Expiration: 09/29/2019 Valuation: \$22,000.00 Building Permit #: 920 Subdivision: CAROLINA TRACE	Main Address: Parcel: 9661-71-8106-00 Last Inspection: 1818 Rye Rd Sanford, NC 27332 Final Date: Assigned To: Commercial Ductwork Additions: No
<b>MECH-001310-2019</b>	Type: Mechanical Workclass: Residential Issue Date: 04/02/2019 Sq Ft: 0 New Construction: No Power Co.: DUKE	District: Sanford Project: Expiration: 10/09/2019 Valuation: \$0.00 Residential Ductwork Additions: No Subdivision: BRIDGES POND	Main Address: Parcel: 9644-77-5089-00 Last Inspection: 04/12/2019 2802 Waters Edge Sanford, NC 27330 Final Date: 04/15/2019 Assigned To: Commercial Ductwork Additions: No
<b>MECH-001311-2019</b>	Type: Mechanical Workclass: Residential Issue Date: 04/02/2019 Sq Ft: 0 New Construction: No Power Co.: DUKE	District: Lee County (Unincorporated) Project: Expiration: 10/05/2019 Valuation: \$0.00 Residential Ductwork Additions: No Subdivision:	Main Address: Parcel: 9620-01-0455-00 Last Inspection: 04/08/2019 2853 Chris Cole Rd Sanford, NC 27332 Final Date: 04/08/2019 Assigned To: Commercial Ductwork Additions: No
<b>MECH-001312-2019</b>	Type: Mechanical Workclass: Residential Issue Date: 04/03/2019 Sq Ft: 0 New Construction: No Power Co.: DUKE	District: Lee County (Unincorporated) Project: Expiration: 10/12/2019 Valuation: \$0.00 Residential Ductwork Additions: No Flood Zone: AE	Main Address: Parcel: 9622-56-3244-00 Last Inspection: 04/15/2019 344 Westbrooke Dr Sanford, NC 27330 Final Date: 04/16/2019 Assigned To: Commercial Ductwork Additions: No
<b>MECH-001314-2019</b>	Type: Mechanical Workclass: Residential Issue Date: 04/03/2019 Sq Ft: 0 New Construction: No Power Co.: DUKE	District: Sanford Project: Expiration: 10/06/2019 Valuation: \$0.00	Main Address: Parcel: 9661-29-8271-00 Last Inspection: 04/09/2019 20 Willow Cir Sanford, NC 27332 Final Date: Assigned To:

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

Is this a standalone Mechanical Permit?: No  
 Commercial Ductwork Additions: No  
 Description: HEATPUMP INSTALL  
 Building Permit #: 1236  
 Power Co.: CEMC  
 Residential Ductwork Additions: No  
 Subdivision:  
 Acres: 39.99  
 New Construction: No  
 Number of Heat Pump Units: 1

**MECH-001315-2019**  
 Status: Issued  
 Application Date: 04/03/2019  
 Zone: R-20/MH R-20/MH  
 Additional Info:  
 Is this a standalone Mechanical Permit?: No  
 Commercial Ductwork Additions: No  
 Description: HEATPUMP INSTALL  
 District: Sanford  
 Project:  
 Expiration: 09/30/2019  
 Valuation: \$0.00  
 Main Address:  
 Parcel: 9661-29-8271-00  
 Last Inspection:  
 Finaled Date:  
 Assigned To:  
 Building Permit #: 1235  
 Power Co.: CEMC  
 Residential Ductwork Additions: No  
 Subdivision:  
 Acres: 39.99  
 New Construction: No  
 Number of Heat Pump Units: 1

**MECH-001316-2019**  
 Status: Issued  
 Application Date: 04/03/2019  
 Zone: R-20/MH R-20/MH  
 Additional Info:  
 Is this a standalone Mechanical Permit?: No  
 Commercial Ductwork Additions: No  
 Description: HEATPUMP INSTALL  
 District: Sanford  
 Project:  
 Expiration: 10/06/2019  
 Valuation: \$0.00  
 Main Address:  
 Parcel: 9661-29-8271-00  
 Last Inspection: 04/09/2019  
 Finaled Date:  
 Assigned To:  
 Building Permit #: 1234  
 Power Co.: CEMC  
 Residential Ductwork Additions: No  
 Subdivision:  
 Acres: 39.99  
 New Construction: No  
 Number of Heat Pump Units: 1

**MECH-001317-2019**  
 Status: Issued  
 Application Date: 04/03/2019  
 Zone: R-20/MH R-20/MH  
 Additional Info:  
 Is this a standalone Mechanical Permit?: No  
 Commercial Ductwork Additions: No  
 Description: HEATPUMP INSTALL  
 District: Sanford  
 Project:  
 Expiration: 09/30/2019  
 Valuation: \$0.00  
 Main Address:  
 Parcel: 9661-29-8271-00  
 Last Inspection:  
 Finaled Date:  
 Assigned To:  
 Building Permit #: 1233  
 Power Co.: CEMC  
 Residential Ductwork Additions: No  
 Subdivision:  
 Acres: 39.99  
 New Construction: No  
 Number of Heat Pump Units: 1

**MECH-001318-2019**  
 Status: Issued  
 Application Date: 04/03/2019  
 Zone: R-20/MH R-20/MH  
 Additional Info:  
 Is this a standalone Mechanical Permit?: No  
 Commercial Ductwork Additions: No  
 Description: HEATPUMP INSTALL  
 District: Sanford  
 Project:  
 Expiration: 09/30/2019  
 Valuation: \$0.00  
 Main Address:  
 Parcel: 9661-29-8271-00  
 Last Inspection:  
 Finaled Date:  
 Assigned To:  
 Building Permit #: 1232  
 Power Co.: CEMC  
 Residential Ductwork Additions: No  
 Subdivision:  
 Acres: 39.99  
 New Construction: No  
 Number of Heat Pump Units: 1

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

<b>MECH-001321-2019</b> Status: Issued Application Date: 04/03/2019 Zone: R-12 R-12 Residential Mixed Additional Info:	Type: Mechanical Workclass: Residential Issue Date: 04/03/2019 Sq Ft: 3,114 New Construction: Yes	District: Sanford Project: Expiration: 10/06/2019 Valuation: \$122,543.00 Building Permit #: 910 Acres: 0.44	Main Address: Parcel: 9643-44-0967-00 Last Inspection: 04/09/2019 Assigned To:	1000 Archer Ln Sanford, NC 27330 Final Date: Assigned To:	Number of Gas Piping/Pressure Test Units: 1 Subdivision: NOTTINGHAM
<b>MECH-001323-2019</b> Status: Issued Application Date: 04/04/2019 Zone: RR RR Additional Info: Is this a standalone Mechanical Permit?: No Number of Heat Pump Units: 1 Description: NEW SFD; 3.5 TON HEATPUMP INSTALL & GAS PIPING	Type: Mechanical Workclass: Residential Issue Date: 04/04/2019 Sq Ft: 3,362 New Construction: Yes Commercial Ductwork Additions: No	District: Lee County (Unincorporated) Project: Expiration: 10/02/2019 Valuation: \$290,000.00 Building Permit #: 0648 Watershed: CAPE FEAR / LEE COUNTY	Main Address: Parcel: 9666-29-7108-00 Last Inspection: 04/05/2019 Assigned To:	113 Crosby Ln Sanford, NC 27330 Final Date: Assigned To:	Number of Gas Piping/Pressure Test Units: 1 Power Co.: DUKE
<b>MECH-001324-2019</b> Status: Complete Application Date: 04/04/2019 Zone: L I L I Light Industrial Additional Info: Is this a standalone Mechanical Permit?: Yes Acres: 7.84608 Description: A/C SYSTEM 7.5 TONS INSTALL	Type: Mechanical Workclass: Non-Residential Issue Date: 04/04/2019 Sq Ft: 0 New Construction: No Power Co.: DUKE	District: Sanford Project: Expiration: 10/07/2019 Valuation: \$0.00 Residential Ductwork Additions: No Subdivision:	Main Address: Parcel: 9643-93-8484-00 Last Inspection: 04/10/2019 Assigned To:	505 N Seventh St Sanford, NC 27330 Final Date: 04/10/2019 Assigned To:	Commercial Ductwork Additions: No Refrigeration Tons: 7.5
<b>MECH-001333-2019</b> Status: Issued Application Date: 04/04/2019 Zone: RA RA Residential Agricultural Additional Info: Is this a standalone Mechanical Permit?: No Commercial Ductwork Additions: No Description: OUTSIDE GAS PIPING; FROM TANK TO BUILDING	Type: Mechanical Workclass: Non-Residential Issue Date: 04/04/2019 Sq Ft: 0 New Construction: No Acres: 10.45	District: Lee County (Unincorporated) Project: Expiration: 10/15/2019 Valuation: \$0.00 Building Permit #: 1216 Power Co.: DUKE	Main Address: Parcel: 9631-13-9172-00 Last Inspection: 04/18/2019 Assigned To:	80 Pressly Foushee Rd Sanford, NC 27330 Final Date: Assigned To:	Gas Piping/Pressure Test Units: 1
<b>MECH-001337-2019</b> Status: Complete Application Date: 04/05/2019 Zone: R-14 R-14 Residential Single-Family Additional Info:	Type: Mechanical Workclass: Residential Issue Date: 04/05/2019 Sq Ft: 0 New Construction: No Acres: 10.45	District: Sanford Project: Expiration: 10/08/2019 Valuation: \$0.00	Main Address: Parcel: 9623-93-2107-00 Last Inspection: 04/11/2019 Assigned To:	2700 Cobblestone Dr Sanford, NC 27330 Final Date: 04/11/2019 Assigned To:	



PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

Is this a standalone Mechanical **New Construction: No** Residential Ductwork Additions: No Commercial Ductwork Additions: No  
 Permit?: Yes  
 Watershed: DEEP RIVER / LEE COUNTY  
 Acres: 0.436065  
 Power Co.: CEMC  
 Description: 2 TON GAS FURNACE W/ A/C

**MECH-001341-2019**  
 Status: Complete  
 Application Date: 04/05/2019  
 Zone: RA RA Residential Agricultural  
 Additional Info:  
 Is this a standalone Mechanical **New Construction: No** Residential Ductwork Additions: No Commercial Ductwork Additions: No  
 Permit?: Yes  
 Acres: 0.671367  
 Power Co.: DUKE  
 Description: INSTALLATION OF (2) HEATPUMPS

Type: Mechanical  
 Workclass: Residential  
 Issue Date: 04/05/2019  
 Sq Ft: 0

District: Broadway ETJ  
 Project:  
 Expiration: 10/13/2019  
 Valuation: \$0.00

Main Address:  
 Parcel: 9682-80-2265-00  
 Last Inspection: 04/16/2019  
 Finaled Date: 04/16/2019  
 Assigned To:

571 Sion Kelly Rd  
 Sanford, NC 27330

**MECH-001342-2019**  
 Status: Issued  
 Application Date: 04/05/2019  
 Zone: RR RR  
 Additional Info:  
 Is this a standalone Mechanical **New Construction: No** Residential Ductwork Additions: No Commercial Ductwork Additions: No  
 Permit?: Yes  
 Acres: 1.95  
 Power Co.: DUKE  
 Description: 3.5 TON HEATPUMP INSTALL

Type: Mechanical  
 Workclass: Residential  
 Issue Date: 04/05/2019  
 Sq Ft: 0

District: Lee County (Unincorporated)  
 Project:  
 Expiration: 10/02/2019  
 Valuation: \$0.00

Main Address:  
 Parcel: 9519-97-0455-00  
 Last Inspection:  
 Finaled Date:  
 Assigned To:

7704 Villanow Dr  
 Sanford, NC 27332

**MECH-001343-2019**  
 Status: Complete  
 Application Date: 04/05/2019  
 Zone: R-14 R-14 Residential Single-Family  
 Additional Info:  
 Is this a standalone Mechanical **New Construction: No** Residential Ductwork Additions: No Commercial Ductwork Additions: No  
 Permit?: Yes  
 Watershed: DEEP RIVER / LEE COUNTY  
 Acres: 0.352955  
 Description: 2 GAS FURNACE WITH A/C

Type: Mechanical  
 Workclass: Residential  
 Issue Date: 04/05/2019  
 Sq Ft: 0

District: Sanford  
 Project:  
 Expiration: 10/13/2019  
 Valuation: \$0.00

Main Address:  
 Parcel: 9623-92-2966-00  
 Last Inspection: 04/16/2019  
 Finaled Date: 04/16/2019  
 Assigned To:

2705 Cobblestone Dr  
 Sanford, NC 27330

**MECH-001345-2019**  
 Status: Complete  
 Application Date: 04/05/2019  
 Zone: C-2 C-2 General Commercial  
 Additional Info:  
 Is this a standalone Mechanical **New Construction: No** Residential Ductwork Additions: No Commercial Ductwork Additions: No  
 Permit?: Yes  
 Acres: 0.250824  
 Description: 3 TON A/C UNIT

Type: Mechanical  
 Workclass: Non-Residential  
 Issue Date: 04/05/2019  
 Sq Ft: 0

District: Sanford  
 Project:  
 Expiration: 10/13/2019  
 Valuation: \$0.00

Main Address:  
 Parcel: 9642-69-1629-00  
 Last Inspection: 04/16/2019  
 Finaled Date: 04/16/2019  
 Assigned To:

300 N Carthage St  
 Sanford, NC 27330

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

<b>MECH-001358-2019</b> Status: Issued Application Date: 04/08/2019 Zone: RA RA Residential Agricultural Additional Info: Is this a standalone Mechanical Permit?: Yes Acres: 30.3723 Description: CHANGE OUT OF 20 TON HP	Type: Mechanical Workclass: Non-Residential Issue Date: 04/08/2019 Sq Ft: 0 New Construction: No Power Co.: DUKE	District: Lee County (Unincorporated) Project: Expiration: 10/05/2019 Valuation: \$0.00 Residential Ductwork Additions: No Subdivision:	Main Address: Parcel: 9641-25-5063-00 Last Inspection: 2420 Tramway Rd Sanford, NC 27330 Final Date: Assigned To: Commercial Ductwork Additions: No
<b>MECH-001359-2019</b> Status: Complete Application Date: 04/08/2019 Zone: R-20 R-20 Additional Info: Is this a standalone Mechanical Permit?: Yes Acres: 1.10093 Description: CHANGE OUT HEATPUMP 5 TON	Type: Mechanical Workclass: Non-Residential Issue Date: 04/08/2019 Sq Ft: 0 New Construction: No Power Co.: DUKE	District: Broadway Project: Expiration: 10/22/2019 Valuation: \$0.00 Residential Ductwork Additions: No Subdivision:	Main Address: Parcel: 9682-40-6449-00 Last Inspection: 04/25/2019 206 S Main St Broadway, NC 27505 Final Date: 04/25/2019 Assigned To: Commercial Ductwork Additions: No
<b>MECH-001367-2019</b> Status: Issued Application Date: 04/03/2019 Zone: L I L Light Industrial Additional Info: Is this a standalone Mechanical Permit?: No Commercial Ductwork Additions: No Acres: 2.04204 Description: TRANSFERRED 4 TON SPLIT HEATPUMP INSTALL	Type: Mechanical Workclass: Non-Residential Issue Date: 04/03/2019 Sq Ft: 0 New Construction: No Acres: 2.04204	District: Sanford ETJ Project: Expiration: 10/30/2019 Valuation: \$0.00 Building Permit #: BLDG-001353-2019 Power Co.: CEMC	Main Address: Parcel: 9651-85-4200-00 Last Inspection: 05/03/2019 3408 Lee Ave Sanford, NC 27332 Final Date: Assigned To: Heat Pump Tons: 4 Residential Ductwork Additions: No Subdivision:
<b>MECH-001374-2019</b> Status: Issued Application Date: 04/10/2019 Zone: C-2 C-2 General Commercial Additional Info: Is this a standalone Mechanical Permit?: Yes Acres: 1.32859 Description: 2.5 TON REFRIGERATION FOR NEW ICE MACHINE	Type: Mechanical Workclass: Non-Residential Issue Date: 04/10/2019 Sq Ft: 0 New Construction: No Power Co.: DUKE	District: Sanford Project: Expiration: 10/07/2019 Valuation: \$0.00 Residential Ductwork Additions: No Subdivision:	Main Address: Parcel: 9661-07-9708-00 Last Inspection: 3210 Nc 87 Hwy Sanford, NC 27332 Final Date: Assigned To: Commercial Ductwork Additions: No
<b>MECH-001380-2019</b> Status: Complete Application Date: 04/10/2019 Zone: RA RA Residential Agricultural Additional Info:	Type: Mechanical Workclass: Residential Issue Date: 04/10/2019 Sq Ft: 2.432 New Construction: No Power Co.: DUKE	District: Lee County (Unincorporated) Project: Expiration: 10/28/2019 Valuation: \$170,000.00	Main Address: Parcel: 9558-62-0534-00 Last Inspection: 05/01/2019 5954 Olivia Rd Sanford, NC 27332 Final Date: 05/01/2019 Assigned To:

TRANSFERRED FROM DESKTOP VERSION ON 04/09/2019 OLD PERMIT# MECH-4-19-32757, FEES PAID WITHIN DESKTOP PH

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

<p>Is this a standalone Mechanical Permit?: No Commercial Ductwork Additions: No Description: HEATPUMP 4 TON FOR PROPOSED OFF-FRAME MODULAR HOME TO BE LOCATED ON NEWLY-CREATED 2.00 ACRE LOT (FC 2018 / SL 155).</p>	<p>New Construction: No Acres: 1.89 Power Co.: CEMC</p>	<p>Building Permit #: BRES-001077-2019 Power Co.: CEMC Subdivision:</p>	<p>Residential Ductwork Additions: No Number of Heat Pump Units: 1</p>
<p><b>MECH-001382-2019</b> Status: Complete Application Date: 04/10/2019 Zone: RR RR Additional Info:</p>	<p>Type: Mechanical Workclass: Residential Issue Date: 04/10/2019 Sq Ft: 0</p>	<p>District: Lee County (Unincorporated) Project: Expiration: 10/28/2019 Valuation: \$0.00</p>	<p>Main Address: 1735 Irish Blvd Sanford, NC 27332 Final Date: 05/01/2019 Assigned To: Commercial Ductwork Additions: No</p>
<p>Is this a standalone Mechanical Permit?: No Acres: 0.174845 Description: HP</p>	<p>New Construction: No Power Co.: DUKE</p>	<p>Residential Ductwork Additions: No Subdivision: CAROLINA TRACE</p>	<p>Number of Heat Pump Units: 1 Commercial Ductwork Additions: No</p>
<p><b>MECH-001383-2019</b> Status: Issued Application Date: 04/10/2019 Zone: Additional Info:</p>	<p>Type: Mechanical Workclass: Non-Residential Issue Date: 04/10/2019 Sq Ft: 0</p>	<p>District: Sanford Project: Expiration: 10/13/2019 Valuation: \$0.00</p>	<p>Main Address: 3110 S Horner Blvd, E Sanford, NC 27330 Final Date: Assigned To: Commercial Ductwork Additions: Yes</p>
<p>Is this a standalone Mechanical Permit?: No Acres: 2.86579 Description: DUCTWORK FOR UPFIT</p>	<p>New Construction: No Subdivision:</p>	<p>Building Permit #: BLDG-000002</p>	<p>Residential Ductwork Additions: No Commercial Ductwork Additions: Yes</p>
<p><b>MECH-001384-2019</b> Status: Complete Application Date: 04/11/2019 Zone: RR RR Additional Info:</p>	<p>Type: Mechanical Workclass: Residential Issue Date: 04/11/2019 Sq Ft: 0</p>	<p>District: Lee County (Unincorporated) Project: Expiration: 10/22/2019 Valuation: \$0.00</p>	<p>Main Address: 3944 Caribnton Rd Sanford, NC 27330 Final Date: 04/25/2019 Assigned To: Commercial Ductwork Additions: No</p>
<p>Is this a standalone Mechanical Permit?: Yes Watershed: DEEP RIVER / LEE COUNTY Description: GAS PACK</p>	<p>New Construction: No Acres: 1.00592</p>	<p>Residential Ductwork Additions: No Power Co.: CEMC</p>	<p>Number of Gas Pack Units: 1 Subdivision: HARRIS FARM Commercial Ductwork Additions: No</p>
<p><b>MECH-001385-2019</b> Status: Issued Application Date: 04/11/2019 Zone: LI LI Light Industrial Additional Info:</p>	<p>Type: Mechanical Workclass: Non-Residential Issue Date: 04/11/2019 Sq Ft: 0</p>	<p>District: Lee County (Unincorporated) Project: Expiration: 10/08/2019 Valuation: \$0.00</p>	<p>Main Address: 4850 Womack Rd Sanford, NC 27330 Final Date: Assigned To: Commercial Ductwork Additions: No</p>
<p>Is this a standalone Mechanical Permit?: Yes Watershed: CAPE FEAR / LEE COUNTY Description: 3 TON A/C</p>	<p>New Construction: No Acres: 51.712</p>	<p>Residential Ductwork Additions: No Power Co.: DUKE</p>	<p>Refrigeration Tons: 3 Subdivision: Commercial Ductwork Additions: No</p>

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

<b>MECH-001386-2019</b> Status: Complete Application Date: 04/11/2019 Zone: RR RR Additional Info: Is this a standalone Permit?: Yes Watershed: DEEP RIVER / LEE COUNTY Description: HP	Type: Mechanical Workclass: Residential Issue Date: 04/11/2019 Sq Ft: 0 New Construction: No Acres: 1.56848	District: Lee County (Unincorporated) Project: Expiration: 10/20/2019 Valuation: \$0.00 Residential Ductwork Additions: No Power Co.: CEMC	Main Address: Parcel: 9623-31-3266-00 Last Inspection: 04/23/2019 Assigned To: Commercial Ductwork Additions: No	218 Mill Pond Rd Sanford, NC 27330 Final Date: 04/23/2019 Assigned To:
<b>MECH-001390-2019</b> Status: Complete Application Date: 04/12/2019 Zone: R-12 R-12 Residential Mixed Additional Info: Is this a standalone Permit?: Yes Acres: 0.17966 Description: SINGLE AIR CONDITIONING UNIT	Type: Mechanical Workclass: Residential Issue Date: 04/12/2019 Sq Ft: 0 New Construction: No Power Co.: DUKE	District: Sanford Project: Expiration: 10/13/2019 Valuation: \$0.00 Residential Ductwork Additions: No Subdivision: DEATON	Main Address: Parcel: 9653-11-5809-00 Last Inspection: 04/16/2019 Assigned To: Commercial Ductwork Additions: No	611 Midland Ave Sanford, NC 27330 Final Date: 04/16/2019 Assigned To:
<b>MECH-001391-2019</b> Status: Issued Application Date: 04/12/2019 Zone: RA RA Residential Agricultural Additional Info: Is this a standalone Permit?: Yes Watershed: CAPE FEAR / LEE COUNTY Description: HEATPUMP 3 TON	Type: Mechanical Workclass: Residential Issue Date: 04/12/2019 Sq Ft: 0 New Construction: No Acres: 1.41091	District: Lee County (Unincorporated) Project: Expiration: 10/13/2019 Valuation: \$0.00 Residential Ductwork Additions: No Power Co.: CEMC	Main Address: Parcel: 9672-17-1477-00 Last Inspection: 04/16/2019 Assigned To: Commercial Ductwork Additions: No	342 Poplar Springs Church Rd Sanford, NC 27330 Final Date: Assigned To:
<b>MECH-001392-2019</b> Status: Complete Application Date: 04/12/2019 Zone: R-20 R-20 Additional Info: Is this a standalone Permit?: Yes Acres: 0.567072 Description: GAS PACK	Type: Mechanical Workclass: Residential Issue Date: 04/12/2019 Sq Ft: 0 New Construction: No Power Co.: DUKE	District: Sanford Project: Expiration: 10/19/2019 Valuation: \$0.00 Residential Ductwork Additions: No Subdivision: WINTERLOCKEN FOREST	Main Address: Parcel: 9632-63-2202-00 Last Inspection: 04/22/2019 Assigned To: Commercial Ductwork Additions: No	3501 Glade Run Dr Sanford, NC 27330 Final Date: 04/22/2019 Assigned To:
<b>MECH-001396-2019</b> Status: Complete Application Date: 04/12/2019 Zone: R-20 R-20 Additional Info:	Type: Mechanical Workclass: Residential Issue Date: 04/12/2019 Sq Ft: 0	District: Sanford ETJ Project: Expiration: 10/19/2019 Valuation: \$0.00	Main Address: Parcel: 9641-85-5470-00 Last Inspection: 04/22/2019 Assigned To:	315 St Andrews Church Rd Sanford, NC 27332 Final Date: 04/22/2019 Assigned To:

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

<p>Is this a standalone Mechanical Permit?: Yes Acres: 0.973024 Description: HEATPUMP</p>	<p>New Construction: No Power Co.: DUKE</p>	<p>Residential Ductwork Additions: No Subdivision:</p>	<p>Number of Heat Pump Units: 1 Commercial Ductwork Additions: No</p>
<p>MECH-001407-2019 Status: Complete Application Date: 04/13/2019 Zone: RA RA Residential Agricultural Additional Info:</p>	<p>Type: Mechanical Workclass: Residential Issue Date: 04/15/2019 Sq Ft: 0</p>	<p>District: Lee County (Unincorporated) Project: Expiration: 10/20/2019 Valuation: \$0.00</p>	<p>Main Address: 1132 Minter School Rd Sanford, NC 27332 Filed Date: 04/23/2019 Assigned To:</p>
<p>Is this a standalone Mechanical Permit?: No Commercial Ductwork Additions: No Description: HP</p>	<p>New Construction: No Acres: 0.935058</p>	<p>Building Permit #: BRES-000987-2019 Power Co.: DUKE</p>	<p>Residential Ductwork Additions: No Subdivision: TWINS PEAK Number of Heat Pump Units: 1</p>
<p>MECH-001408-2019 Status: Issued Application Date: 04/13/2019 Zone: R-20 R-20 Additional Info:</p>	<p>Type: Mechanical Workclass: Residential Issue Date: 04/15/2019 Sq Ft: 0</p>	<p>District: Sanford Project: Expiration: 10/12/2019 Valuation: \$0.00</p>	<p>Main Address: 1803 Windmill Dr Sanford, NC 27330 Filed Date: Assigned To:</p>
<p>Is this a standalone Mechanical Permit?: Yes Acres: 1.01045 Description: GAS PIPING</p>	<p>New Construction: No Power Co.: DUKE</p>	<p>Residential Ductwork Additions: No Subdivision:</p>	<p>Number of Gas Piping/Pressure Test Units: 1 Commercial Ductwork Additions: No</p>
<p>MECH-001413-2019 Status: Issued Application Date: 04/13/2019 Zone: RR RR Additional Info:</p>	<p>Type: Mechanical Workclass: Residential Issue Date: 04/17/2019 Sq Ft: 2,153</p>	<p>District: Lee County (Unincorporated) Project: Expiration: 10/15/2019 Valuation: \$200,000.00</p>	<p>Main Address: 1365 Illinois Ave Sanford, NC 27332 Filed Date: Assigned To:</p>
<p>Is this a standalone Mechanical Permit?: No Commercial Ductwork Additions: No Description: GAS LOGS/FIREPLACE</p>	<p>New Construction: No Acres: 0.21448</p>	<p>Building Permit #: BRES-000401-2018 Power Co.: DUKE</p>	<p>Residential Ductwork Additions: No Subdivision: CAROLINA TRACE Number of Gas Logs/Fireplace Units: 1</p>
<p>MECH-001414-2019 Status: Issued Application Date: 04/13/2019 Zone: R-20 R-20 Additional Info:</p>	<p>Type: Mechanical Workclass: Residential Issue Date: 04/17/2019 Sq Ft: 3,646</p>	<p>District: Sanford Project: Expiration: 10/20/2019 Valuation: \$300,000.00</p>	<p>Main Address: 2419 Lakeland Dr Sanford, NC 27330 Filed Date: Assigned To:</p>
<p>Is this a standalone Mechanical Permit?: No Commercial Ductwork Additions: No Description: GAS LOGS/FIREPLACE</p>	<p>New Construction: No Acres: 0.702439</p>	<p>Building Permit #: BRES-000802-2019 Power Co.: DUKE</p>	<p>Residential Ductwork Additions: No Subdivision: WESTLAKE VALLEY Number of Gas Logs/Fireplace Units: 1</p>

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

<b>MECH-001427-2019</b> Status: Issued Application Date: 04/15/2019 Zone: RR RR Additional Info: Is this a standalone Mechanical Permit?: Yes Acres: 0.336981 Description: HP	Type: Mechanical Workclass: Residential Issue Date: 04/15/2019 Sq Ft: 0 New Construction: No Power Co.: DUKE	District: Lee County (Unincorporated) Project: Expiration: 10/12/2019 Valuation: \$0.00 Residential Ductwork Additions: No Subdivision: CAROLINA TRACE	Main Address: Parcel: 9670-19-9956-00 Last Inspection: Assigned To: Commercial Ductwork Additions: No	8040 Royal Dr Sanford, NC 27332 Finaled Date: Assigned To: Commercial Ductwork Additions: No
<b>MECH-001429-2019</b> Status: Issued Application Date: 04/16/2019 Zone: RA RA Residential Agricultural Additional Info: Is this a standalone Mechanical Permit?: No Number of Heat Pump Units: 1 Subdivision: COPPER RIDGE EAST Description: NEW SFD; HEATPUMP AND GAS PIPING INSTALL	Type: Mechanical Workclass: Residential Issue Date: 04/16/2019 Sq Ft: 3,679 New Construction: Yes Commercial Ductwork Additions: No	District: Lee County (Unincorporated) Project: Expiration: 10/22/2019 Valuation: \$180,174.00 Building Permit #: 0963 Watershed: CAPE FEAR / LEE COUNTY	Main Address: Parcel: 9666-45-4298-00 Last Inspection: 04/25/2019 Residential Ductwork Additions: No Acres: 1.17	212 Ore Run Ln Sanford, NC 27330 Finaled Date: Assigned To: Number of Gas Piping/Pressure Test Units: 1 Power Co.: DUKE
<b>MECH-001430-2019</b> Status: Issued Application Date: 04/16/2019 Zone: Additional Info: Is this a standalone Mechanical Permit?: Yes Description: 2.5 TON HEATPUMP INSTALL	Type: Mechanical Workclass: Residential Issue Date: 04/16/2019 Sq Ft: 0 New Construction: No	District: Lee County (Unincorporated) Project: Expiration: 10/14/2019 Valuation: \$0.00 Residential Ductwork Additions: No	Main Address: Parcel: 9631-77-4581-00 Last Inspection: 04/17/2019 Number of Heat Pump Units: 1	5115 Tyndall Dr Sanford, NC 27330 Finaled Date: Assigned To: Commercial Ductwork Additions: No
<b>MECH-001436-2019</b> Status: Complete Application Date: 04/16/2019 Zone: Additional Info: Is this a standalone Mechanical Permit?: Yes Description: 3 HEATPUMP UNITS	Type: Mechanical Workclass: Residential Issue Date: 04/16/2019 Sq Ft: 0 New Construction: No	District: Lee County (Unincorporated) Project: Expiration: 10/23/2019 Valuation: \$0.00 Residential Ductwork Additions: No	Main Address: Parcel: 9529-96-2396-00 Last Inspection: 04/26/2019 Number of Heat Pump Units: 3	5728 Quail Ridge Dr Sanford, NC 27332 Finaled Date: 04/26/2019 Assigned To: Commercial Ductwork Additions: No
<b>MECH-001449-2019</b> Status: Issued Application Date: 04/17/2019 Zone: R-20 R-20 Additional Info: Is this a standalone Mechanical Permit?: Yes Acres: 1.053	Type: Mechanical Workclass: Residential Issue Date: 04/17/2019 Sq Ft: 0 New Construction: No Power Co.: DUKE	District: Sanford ETJ Project: Expiration: 10/14/2019 Valuation: \$0.00 Residential Ductwork Additions: No Subdivision: ST ANDREWS	Main Address: Parcel: 9651-23-1722-00 Last Inspection: Number of Heat Pump Units: 1	4025 Carson Dr Sanford, NC 27332 Finaled Date: Assigned To: Commercial Ductwork Additions: No

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

Description: 2 TON HEATPUMP INSTALL

**MECH-001450-2019**  
 Status: Complete  
 Application Date: 04/17/2019  
 Zone: R-20 R-20  
 Additional Info:  
 Is this a standalone Mechanical Permit?: Yes  
 Acres: 0.752633  
 Description: 2 TON HEATPUMP INSTALL

Type: Mechanical  
 Workclass: Residential  
 Issue Date: 04/17/2019  
 Sq Ft: 0

New Construction: No  
 Power Co.: DUKE

District: Sanford  
 Project:  
 Expiration: 10/26/2019  
 Valuation: \$0.00

Residential Ductwork Additions: No  
 Subdivision: WEST LANDING

Main Address:  
 Parcel: 9632-52-9920-00  
 Last Inspection: 04/29/2019  
 Assigned To:

Commercial Ductwork Additions: No  
 Number of Heat Pump Units: 1

**MECH-001470-2019**  
 Status: Issued  
 Application Date: 04/22/2019  
 Zone: R-20 R-20  
 Additional Info:  
 Is this a standalone Mechanical Permit?: No  
 Number of Heat Pump Units: 1  
 Description: HEATPUMP AND GAS PIPING

Type: Mechanical  
 Workclass: Residential  
 Issue Date: 04/22/2019  
 Sq Ft: 3,646

New Construction: No  
 Commercial Ductwork Additions: No  
 Acres: 0.702439

District: Sanford  
 Project:  
 Expiration: 10/20/2019  
 Valuation: \$300,000.00

Building Permit #: BRES-000802-2019  
 Residential Ductwork Additions: No  
 Power Co.: DUKE

Main Address:  
 Parcel: 9633-57-9431-00  
 Last Inspection: 04/23/2019  
 Assigned To:

Commercial Ductwork Additions: No  
 Number of Gas Piping/Pressure Test Units: 1  
 Subdivision: WESTLAKE VALLEY

**MECH-001472-2019**  
 Status: Issued  
 Application Date: 04/22/2019  
 Zone: RA RA Residential Agricultural  
 Additional Info:  
 Is this a standalone Mechanical Permit?: No  
 Commercial Ductwork Additions: No  
 Description: HEATPUMP

Type: Mechanical  
 Workclass: Residential  
 Issue Date: 04/22/2019  
 Sq Ft: 0

New Construction: No  
 Watershed: CAPE FEAR / LEE COUNTY

District: Lee County (Unincorporated)  
 Project:  
 Expiration: 10/26/2019  
 Valuation: \$0.00

Building Permit #: BRES-001083-2019  
 Residential Ductwork Additions: No  
 Acres: 0.97

Main Address:  
 Parcel: 9686-21-8986-00  
 Last Inspection: 04/29/2019  
 Assigned To:

Commercial Ductwork Additions: No  
 Number of Heat Pump Units: 1  
 Subdivision: COUNTRY ESTATES OF LOWER RIVER RD

**MECH-001476-2019**  
 Status: Void  
 Application Date: 04/22/2019  
 Zone: R-12 R-12 Residential Mixed  
 Additional Info:  
 Is this a standalone Mechanical Permit?: Yes  
 Acres: 0.331794  
 Description: GAS PACK PERMIT HAS BEEN DUPLICATED

Type: Mechanical  
 Workclass: Residential  
 Issue Date: 04/22/2019  
 Sq Ft: 0

New Construction: No  
 Power Co.: DUKE

District: Sanford  
 Project:  
 Expiration: 10/19/2019  
 Valuation: \$0.00

Residential Ductwork Additions: No  
 Subdivision: MATTHEWS ADDITION

Main Address:  
 Parcel: 9643-90-3983-00  
 Last Inspection:  
 Assigned To:

Commercial Ductwork Additions: No  
 Number of Gas Pack Units: 1

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

<b>MECH-001477-2019</b>	Type: Mechanical Workclass: Residential Issue Date: 04/22/2019 Sq Ft: 0 New Construction: No Power Co.: DUKE	District: Sanford Project: Expiration: 10/19/2019 Valuation: \$0.00 Residential Ductwork Additions: No Subdivision: BROOKWOOD	Main Address: Parcel: 9632-98-6294-00 Last Inspection: Assigned To: Commercial Ductwork Additions: No	710 Erwin Rd Sanford, NC 27330 Finaled Date: Assigned To: Commercial Ductwork Additions: No
<b>MECH-001478-2019</b>	Type: Mechanical Workclass: Residential Issue Date: 04/22/2019 Sq Ft: 3,445 New Construction: Yes Commercial Ductwork Additions: No	District: Lee County (Unincorporated) Project: Expiration: 10/19/2019 Valuation: \$350,000.00 Building Permit #: 0225 Acres: 0.161924	Main Address: Parcel: 9660-92-2269-00 Last Inspection: Residential Ductwork Additions: No Subdivision: CAROLINA TRACE	961 South Rd, BAY Sanford, NC 27332 Finaled Date: Assigned To: Number of Gas Piping/Pressure Test Units: 1
<b>MECH-001483-2019</b>	Type: Mechanical Workclass: Residential Issue Date: 04/23/2019 Sq Ft: 0 New Construction: No Power Co.: CEMC	District: Lee County (Unincorporated) Project: Expiration: 10/28/2019 Valuation: \$0.00 Residential Ductwork Additions: No Subdivision:	Main Address: Parcel: 9558-44-9792-00 Last Inspection: 05/01/2019 Number of Gas Heating Unit w/ A/C Units: 1	2235 Bailey Thomas Rd Sanford, NC 27332 Finaled Date: 05/01/2019 Assigned To: Commercial Ductwork Additions: No
<b>MECH-001488-2019</b>	Type: Mechanical Workclass: Residential Issue Date: 04/23/2019 Sq Ft: 3,445 New Construction: Yes Commercial Ductwork Additions: No	District: Lee County (Unincorporated) Project: Expiration: 10/20/2019 Valuation: \$350,000.00 Building Permit #: 0225 Subdivision: CAROLINA TRACE	Main Address: Parcel: 9660-92-2269-00 Last Inspection: Residential Ductwork Additions: No	961 South Rd, BAY Sanford, NC 27332 Finaled Date: Assigned To: Number of Gas Piping/Pressure Test Units: 1
<b>MECH-001495-2019</b>	Type: Mechanical Workclass: Residential Issue Date: 04/23/2019 Sq Ft: 0 New Construction: No	District: Sanford Project: Expiration: 10/20/2019 Valuation: \$0.00 Residential Ductwork Additions: No	Main Address: Parcel: 9643-90-3983-00 Last Inspection: Number of Gas Pack Units: 1	323 Charlotte Ave Sanford, NC 27330 Finaled Date: Assigned To: Commercial Ductwork Additions: No



PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

<p><b>Acres:</b> 0.331794 <b>Description:</b> 2 TON GAS PACK INSTALL</p>		<p><b>Power Co.:</b> DUKE <b>Subdivision:</b> MATTHEWS ADDITION</p>	
<p><b>MECH-001496-2019</b> Status: Complete Application Date: 04/23/2019 Zone: RA RA Residential Agricultural Additional Info: Is this a standalone Mechanical Permit?: Yes Watershed: LITTLE RIVER / LEE COUNTY Description: 2.5 TON HEATPUMP INSTALL</p>	<p>Type: Mechanical Workclass: Residential Issue Date: 04/23/2019 Sq Ft: 0 New Construction: No Acres: 3.83513</p>	<p>District: Lee County (Unincorporated) Project: Expiration: 10/23/2019 Valuation: \$0.00 Residential Ductwork Additions: No Power Co.: CEMC</p>	<p>Main Address: Parcel: 9528-93-8685-00 Last Inspection: 04/26/2019 Assigned To: Commercial Ductwork Additions: No</p>
<p><b>MECH-001517-2019</b> Status: Issued Application Date: 04/24/2019 Zone: C-2 C-2 General Commercial Additional Info: Is this a standalone Mechanical Permit?: No Gas Piping/Pressure Test Units: 1 Description: 5 TON GAS PACK; DUCTWORK ADDITION ON EXISTING UNIT AND GAS PIPING INSTALL</p>	<p>Type: Mechanical Workclass: Non-Residential Issue Date: 04/24/2019 Sq Ft: 0 New Construction: No Commercial Ductwork Additions: Yes Acres: 1.41294</p>	<p>District: Sanford Project: Expiration: 10/21/2019 Valuation: \$0.00 Building Permit #: 0917 Acres: 1.41294</p>	<p>Main Address: Parcel: 9642-48-1244-00 Last Inspection: Assigned To: Residential Ductwork Additions: No Subdivision:</p>
<p><b>MECH-001518-2019</b> Status: Issued Application Date: 04/24/2019 Zone: RR RR Additional Info: Is this a standalone Mechanical Permit?: Yes Acres: 0.578411 Description: 4 TON HEATPUMP INSTALL</p>	<p>Type: Mechanical Workclass: Residential Issue Date: 04/24/2019 Sq Ft: 0 New Construction: No Power Co.: DUKE</p>	<p>District: Lee County (Unincorporated) Project: Expiration: 10/22/2019 Valuation: \$0.00 Residential Ductwork Additions: No Subdivision: CAROLINA TRACE</p>	<p>Main Address: Parcel: 9670-05-4069-00 Last Inspection: Assigned To: Commercial Ductwork Additions: No</p>
<p><b>MECH-001528-2019</b> Status: Complete Application Date: 04/25/2019 Zone: R-6 R-6 Additional Info: Is this a standalone Mechanical Permit?: Yes Acres: 0.867974 Description: DUAL CONDENSER/ EVAP COIL CHANGEOUT ON HEATPUMP; DID NOT CHANGE FURNACE</p>	<p>Type: Mechanical Workclass: Residential Issue Date: 04/25/2019 Sq Ft: 0 New Construction: No Power Co.: DUKE</p>	<p>District: Sanford Project: Expiration: 10/28/2019 Valuation: \$0.00 Residential Ductwork Additions: No Subdivision:</p>	<p>Main Address: Parcel: 9652-46-0495-00 Last Inspection: 05/01/2019 Assigned To: Commercial Ductwork Additions: No</p>

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

<b>MECH-001534-2019</b> Status: Issued Application Date: 04/25/2019 Zone: RR RR Additional Info: Is this a standalone Mechanical Permit?: No Commercial Ductwork Additions: No Description: HP MINI- SPLIT	Type: Mechanical Workclass: Residential Issue Date: 04/25/2019 Sq Ft: 0 New Construction: No Acres: 0.944527	District: Lee County (Unincorporated) Project: Expiration: 10/22/2019 Valuation: \$40,000.00 Building Permit #: BRES-001070-2019 Power Co.: DUKE	Main Address: Parcel: 9529-96-4655-00 Last Inspection: Assigned To: Number of Heat Pump Units: 1 Residential Ductwork Additions: No Subdivision: QUAIL RIDGE	5718 Quail Ridge Dr Sanford, NC 27332 Final Date: Assigned To: Number of Heat Pump Units: 1
<b>MECH-001535-2019</b> Status: Complete Application Date: 04/25/2019 Zone: RR RR Additional Info: Is this a standalone Mechanical Permit?: Yes Acres: 2.4475 Description: HP (DOWNSTAIS CRAWLSPACE)	Type: Mechanical Workclass: Residential Issue Date: 04/25/2019 Sq Ft: 0 New Construction: No Power Co.: DUKE	District: Lee County (Unincorporated) Project: Expiration: 10/28/2019 Valuation: \$0.00 Residential Ductwork Additions: No Subdivision: WESTBROOKE	Main Address: Parcel: 9622-56-3024-00 Last Inspection: 05/01/2019 Assigned To: Number of Heat Pump Units: 1 Residential Ductwork Additions: No Subdivision: WESTBROOKE	308 Westbrooke Dr Sanford, NC 27330 Final Date: 05/01/2019 Assigned To: Commercial Ductwork Additions: No
<b>MECH-001540-2019</b> Status: Issued Application Date: 04/25/2019 Zone: RA RA Residential Agricultural Additional Info: Is this a standalone Mechanical Permit?: Yes Watershed: CAPE FEAR / LEE COUNTY Description: 3 TON HEATPUMP INSTALL (CRAWLSPACE)	Type: Mechanical Workclass: Residential Issue Date: 04/26/2019 Sq Ft: 0 New Construction: No Acres: 2.29917	District: Lee County (Unincorporated) Project: Expiration: 10/23/2019 Valuation: \$0.00 Residential Ductwork Additions: No Power Co.: CEMC	Main Address: Parcel: 9686-14-2730-00 Last Inspection: Assigned To: Number of Heat Pump Units: 1 Residential Ductwork Additions: No Subdivision:	1585 Lees Chapel Rd Sanford, NC 27330 Final Date: Assigned To: Commercial Ductwork Additions: No
<b>MECH-001557-2019</b> Status: Issued Application Date: 04/26/2019 Zone: RA RA Residential Agricultural Additional Info: Is this a standalone Mechanical Permit?: Yes Acres: 1.99 Description: HEATPUMP INSTALL	Type: Mechanical Workclass: Residential Issue Date: 04/26/2019 Sq Ft: 0 New Construction: No Power Co.: DUKE	District: Lee County (Unincorporated) Project: Expiration: 10/29/2019 Valuation: \$0.00 Residential Ductwork Additions: No Subdivision:	Main Address: Parcel: 9672-02-2998-00 Last Inspection: 05/02/2019 Assigned To: Number of Heat Pump Units: 1 Residential Ductwork Additions: No Subdivision:	1804 Broadway Rd Sanford, NC 27332 Final Date: Assigned To: Commercial Ductwork Additions: No
<b>MECH-001571-2019</b> Status: Complete Application Date: 04/29/2019 Zone: RA RA Residential Agricultural Additional Info: Is this a standalone Mechanical Permit?: Yes	Type: Mechanical Workclass: Residential Issue Date: 04/29/2019 Sq Ft: 0 New Construction: No Power Co.: DUKE	District: Lee County (Unincorporated) Project: Expiration: 10/30/2019 Valuation: \$0.00 Residential Ductwork Additions: No	Main Address: Parcel: 9610-32-4696-00 Last Inspection: 05/03/2019 Assigned To: Number of Heat Pump Units: 1 Residential Ductwork Additions: No	4119 S Plank Rd Sanford, NC 27330 Final Date: 05/03/2019 Assigned To: Commercial Ductwork Additions: No

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

Acres: 2.07758  
Description: HEATPUMP  
Power Co.: CEMC  
Subdivision:

**MECH-001579-2019**  
Status: Issued  
Application Date: 04/29/2019  
Zone: R-20 R-20  
Additional Info:  
Is this a standalone Mechanical Permit?: Yes  
Acres: 0.697526  
Description: 4 TON HEATPUMP INSTALL

Type: Mechanical  
Workclass: Residential  
Issue Date: 04/29/2019  
Sq Ft: 0  
New Construction: No  
Power Co.: DUKE

District: Broadway  
Project:  
Expiration: 10/26/2019  
Valuation: \$0.00

Main Address:  
113 W Lake Dr  
Broadway, NC 27505  
Parcel: 9681-59-6895-00  
Last Inspection:  
Assigned To:

Residential Ductwork Additions: No  
Number of Heat Pump Units: 1  
Subdivision: WATSON, E C  
Commercial Ductwork Additions: No

**MECH-001580-2019**  
Status: Issued  
Application Date: 04/29/2019  
Zone: R-12 R-12 Residential Mixed  
Additional Info:  
Is this a standalone Mechanical Permit?: Yes  
Acres: 0.258896  
Description: 2.5 TON HEATPUMP INSTALL

Type: Mechanical  
Workclass: Residential  
Issue Date: 04/29/2019  
Sq Ft: 0  
New Construction: No  
Power Co.: DUKE

District: Sanford ETJ  
Project:  
Expiration: 10/29/2019  
Valuation: \$0.00

Main Address:  
3412 North Ridge Dr  
Sanford, NC 27330  
Parcel: 9641-56-3932-00  
Last Inspection: 05/02/2019  
Assigned To:

Residential Ductwork Additions: No  
Number of Heat Pump Units: 1  
Subdivision: BROOKHAVEN  
Commercial Ductwork Additions: No

PERMITS ISSUED FOR MECHANICAL: 74

PLUMBING (NON-RESIDENTIAL)

**PLMC-001389-2019**  
Status: Issued  
Application Date: 04/11/2019  
Zone:  
Additional Info:  
Number of Lavatories: 2  
Number of Gas Pipings: 2  
Acres: 2.86579  
Description: 11 FIXTURES

Type: Plumbing (Non-Residential)  
Workclass: Other  
Issue Date: 04/11/2019  
Sq Ft: 0  
Number of Water Closets: 2  
Number of Floor Drains: 2

District: Sanford  
Project:  
Expiration: 10/09/2019  
Valuation: \$0.00

Main Address:  
3110 S Horner Blvd, E  
Sanford, NC 27330  
Parcel:  
Last Inspection: 04/12/2019  
Assigned To:

Number of Water Fountains: 1  
Reactivated: No  
Number of Water Heaters - Electric: 1  
Plumber to Install Water & Sewer: No  
Subdivision:

**PLMC-001395-2019**  
Status: Complete  
Application Date: 04/12/2019  
Zone: C-2 C-2 General Commercial  
Additional Info:  
Number of Sewer Lines: 1  
Historic District: N/A  
Description: HOOK UP OF WATER LINE AND SEWER LINE

Type: Plumbing (Non-Residential)  
Workclass: Other  
Issue Date: 04/12/2019  
Sq Ft: 0  
Number of Water Lines: 1  
Subdivision:

District: Sanford  
Project:  
Expiration: 10/14/2019  
Valuation: \$0.00

Main Address:  
3078 S Horner Blvd  
Sanford, NC 27332  
Parcel: 9651-98-0533-00  
Last Inspection: 04/17/2019  
Assigned To:

Plumber to Install Water & Sewer: No  
Flood Zone: N/A  
Power Co.: DUKE  
Acres: 22.69

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

<b>PLMC-001435-2019</b>	Type: Plumbing (Non-Residential) Workclass: Other Issue Date: 04/17/2019 Sq Ft: 0	District: Lee County (Unincorporated) Project: Expiration: 10/28/2019 Valuation: \$0.00	Main Address: Parcel: 9666-85-7648-00 Last Inspection: 05/01/2019	700 Rod Sullivan Rd Sanford, NC 27330 Final Date: Assigned To:
<b>Additional Info:</b>	Number of Water Closets: 1 Plumber to Install Water & Sewer: No Power Co.: CEMC	Number of Water Heaters - Electric: 1 Flood Zone: AE	Number of Can Wash Sinks: 1 Subdivision:	Other: 1 Watershed: CAPE FEAR / LEE COUNTY
<b>Description:</b> 5 FIXTURES INSTALL (CAN WASH SINK, LAVATORIE, WATER CLOSET, WATER HEATER ELEC, OTHER)				
<b>PLMC-001438-2019</b>	Type: Plumbing (Non-Residential) Workclass: Other Issue Date: 04/16/2019 Sq Ft: 0	District: Sanford Project: Expiration: 10/15/2019 Valuation: \$0.00	Main Address: Parcel: 9652-44-5508-00 Last Inspection: 04/18/2019	1949 S Horner Blvd Sanford, NC 27330 Final Date: 04/18/2019 Assigned To:
<b>Additional Info:</b>	Number of Gas Piping: 3 Number of Water Heaters - Gas: 1 Description: INSTALLING TANKLESS WATER HEATER AND RUNNING GAS PIPING TO NEW COMMERCIAL COOKING EQUIP.	Reactivated: No	Plumber to Install Water & Sewer: No	
<b>PLMC-001439-2019</b>	Type: Plumbing (Non-Residential) Workclass: Other Issue Date: 04/17/2019 Sq Ft: 0	District: Sanford Project: Expiration: 10/14/2019 Valuation: \$0.00	Main Address: Parcel: 9652-44-5508-00 Last Inspection:	1949 S Horner Blvd Sanford, NC 27330 Final Date: Assigned To:
<b>Additional Info:</b>	Number of Kitchen Sinks: 2 Subdivision: Description: 4 FIXTURE	Number of Other Sinks: 1 Power Co.: DUKE	Reactivated: No	Plumber to Install Water & Sewer: No
<b>PLMC-001500-2019</b>	Type: Plumbing (Non-Residential) Workclass: New Issue Date: 04/24/2019 Sq Ft: 0	District: Sanford Project: Expiration: 10/22/2019 Valuation: \$0.00	Main Address: Parcel: 9642-48-1244-00 Last Inspection: 04/25/2019	101 Carbonton Rd Sanford, NC 27330 Final Date: Assigned To:
<b>Additional Info:</b>	Reactivated: No Power Co.: DUKE Description: WATER LINE AND DRAIN LINE FOR ICE MACHINE	Plumber to Install Water & Sewer: No	Subdivision:	Acres: 1.41294
<b>PLMC-001527-2019</b>	Type: Plumbing (Non-Residential) Workclass: Other Issue Date: 04/25/2019 Sq Ft: 0	District: Sanford Project: Expiration: 10/22/2019 Valuation: \$0.00	Main Address: Parcel: 9643-60-7007-00 Last Inspection:	128 Carhage St Sanford, NC 27330 Final Date: Assigned To:
<b>Additional Info:</b>	Number of Lavatories: 2 Number of Water Closets: 1 Plumber to Install Water & Sewer: No Power Co.: DUKE	Number of Water Heaters - Electric: 1 Historic District: DOWNTOWN	Number of Kitchen Sinks: 1 Subdivision:	Other: 2 Acres: 0.0954464

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

Description: 7 FIXTURES

**PLMC-001538-2019**  
 Status: Issued  
 Application Date: 12/21/2017  
 Zone: CBD CBD Central Business  
 Additional Info:  
 Number of Showers: 1  
 Number of Other Sinks: 1  
 Power Co.: DUKE  
 Type: Plumbing (Non-Residential)  
 Workclass: Other  
 Issue Date: 04/25/2019  
 Sq Ft: 0  
 Number of Lavatories: 3  
 Reactivated: No  
 District: Sanford  
 Project:  
 Expiration: 10/22/2019  
 Valuation: \$0.00  
 Main Address:  
 Parcel: 9642-79-3121-00  
 Last Inspection:  
 Assigned To:  
 Number of Water Closets: 3  
 Number of Water Heaters - Electric: 1  
 Subdivision:  
 Number of Kitchen Sinks: 1  
 Acres: 0.0519471

Description: (TRANSFERRED) 11 FIXTURES (1 KITCHEN SINK, 1 OTHER SINK, 3 SHOWERS, 3 LAVS, 3 WATER CLOSETS, WATER HTR ELEC, WATER LINE) TRANSFERRED FROM OLD DESKTOP VERSION; PLEASE REFERENCE IN OLD DESKTOP SYSTEM BUIDING PERMIT#:30046

PERMITS ISSUED FOR PLUMBING (NON-RESIDENTIAL): 8

PLUMBING (RESIDENTIAL)

**PLMR-001287-2019**  
 Status: Complete  
 Application Date: 04/01/2019  
 Zone: RA RA Residential Agricultural  
 Additional Info:  
 Number of Sewer Lines: 1  
 Acres: 1.89  
 Description: PLUMBING OF MODULAR HOME; WATER & SEWER  
 Type: Plumbing (Residential)  
 Workclass: Modular  
 Issue Date: 04/01/2019  
 Sq Ft: 2,432  
 Number of Water Lines: 1  
 Power Co.: CEMC  
 District: Lee County (Unincorporated)  
 Project:  
 Expiration: 10/28/2019  
 Valuation: \$170,000.00  
 Main Address:  
 Parcel: 9558-62-0534-00  
 Last Inspection: 05/01/2019  
 Assigned To:  
 Reactivated: No  
 Plumber to Install Water & Sewer: No  
 Subdivision:

**PLMR-001290-2019**  
 Status: Issued  
 Application Date: 04/01/2019  
 Zone: R-20 R-20  
 Additional Info:  
 Number of Showers: 1  
 Subdivision: CAROLINA TRACE  
 Description: 3 FIXTURES (LAVATORIE, WATER CLOSET & SHOWER INSTALL)  
 Type: Plumbing (Residential)  
 Workclass: Alteration  
 Issue Date: 04/01/2019  
 Sq Ft: 0  
 Number of Lavatories: 1  
 Acres: 0.33  
 District: Lee County (Unincorporated)  
 Project:  
 Expiration: 09/30/2019  
 Valuation: \$39,881.00  
 Main Address:  
 Parcel: 9661-63-3207-00  
 Last Inspection: 04/03/2019  
 Assigned To:  
 Reactivated: No  
 Number of Water Closets: 1  
 Power Co.: DUKE  
 Plumber to Install Water & Sewer: No

**PLMR-001291-2019**  
 Status: Issued  
 Application Date: 04/01/2019  
 Zone: RR RR  
 Additional Info:  
 Number of Water Heaters - Gas: 1  
 Power Co.: DUKE  
 Description: (1) GAS WATER HEATER INSTALL  
 Type: Plumbing (Residential)  
 Workclass: Other  
 Issue Date: 04/01/2019  
 Sq Ft: 0  
 Reactivated: No  
 District: Lee County (Unincorporated)  
 Project:  
 Expiration: 10/01/2019  
 Valuation: \$0.00  
 Main Address:  
 Parcel: 9670-02-1461-00  
 Last Inspection: 04/04/2019  
 Assigned To:  
 Subdivision: CAROLINA TRACE  
 Acres: 0.124356

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

<b>PLMR-001305-2019</b>	Type: Plumbing (Residential) Workclass: New Application Date: 04/02/2019 Issue Date: 04/02/2019 Sq Ft: 3,362 Zone: RR RR Additional Info: Number of Full Baths: 3 Watershed: CAPE FEAR / LEE COUNTY Description: PLUMBING OF NEW SFD; 3 FULL BATHS/ 1 HALF	District: Lee County (Unincorporated) Project: Expiration: 10/02/2019 Valuation: \$290,000.00 Reactivated: No Power Co.: DUKE	Main Address: Parcel: 9666-29-7108-00 Last Inspection: 04/05/2019 Assigned To: Plumber to install Water & Sewer: Yes Subdivision: PROVIDENCE LANDING	113 Crosby Ln Sanford, NC 27330 Final Date: Assigned To:
<b>PLMR-001308-2019</b>	Type: Plumbing (Residential) Workclass: Alteration Application Date: 04/02/2019 Issue Date: 04/02/2019 Sq Ft: 0 Zone: RR RR Additional Info: Number of Showers: 1 Plumber to Install Water & Sewer: No Subdivision: CAROLINA TRACE Description: INTERIOR RENOVATIONS; (4) FIXTURES ( WASHING MACHINE, SHOWER, LAVATORIE, URINAL) PROPOSED INTERIOR RENOVATION TO EXISTING SFD; ADDITION OF STAIRS LEADING TO BASEMENT, HEATING AND COOLING OF SAME. NO ADDITIONAL SQUARE FOOTAGE OR EXPANSION OF FOOTPRINT. ADDITION OF MASTER CLOSET; MOVING LAUNDRY FACILITIES TO GARAGE AREA. ELECTRICAL, PLUMBING, MECHANICAL PERMITS WILL BE NEEDED.	District: Lee County (Unincorporated) Project: Expiration: 09/29/2019 Valuation: \$22,000.00 Number of Urinals: 1 Acres: 0.23486	Main Address: Parcel: 9661-71-8106-00 Last Inspection: Assigned To: Reactivated: No Power Co.: DUKE	1818 Rye Rd Sanford, NC 27332 Final Date: Assigned To:
<b>PLMR-001322-2019</b>	Type: Plumbing (Residential) Workclass: Manufactured Home Application Date: 04/03/2019 Issue Date: 04/03/2019 Sq Ft: 0 Zone: RAMH RAMH Additional Info: Manufactured Home Single-Wide: 1 Reactivated: No Power Co.: CEMC Description: PLUMBING OF SINGLE WIDE SET UP 2019 14'X60'	District: Lee County (Unincorporated) Project: Expiration: 10/20/2019 Valuation: \$0.00 Plumber to Install Water & Sewer: No Subdivision:	Main Address: Parcel: 9654-87-3370-00 Last Inspection: 04/23/2019 Assigned To: Watershed: CAPE FEAR / LEE COUNTY	1315 Post Office Rd Sanford, NC 27330 Final Date: 04/23/2019 Assigned To:
<b>PLMR-001330-2019</b>	Type: Plumbing (Residential) Workclass: Alteration Application Date: 04/04/2019 Issue Date: 04/04/2019 Sq Ft: 0 Zone: R-6 R-6 Additional Info: Number of Bathtubs: 1 Power Co.: DUKE Description: 1 FIXTURE	District: Sanford Project: Expiration: 10/06/2019 Valuation: \$0.00 Plumber to Install Water & Sewer: No Subdivision:	Main Address: Parcel: 9652-61-3180-00 Last Inspection: 04/09/2019 Assigned To: Acres: 3.43273	2625 Applegate Way Sanford, NC 27332 Final Date: Assigned To:
<b>PLMR-001331-2019</b>	Type: Plumbing (Residential) Workclass: Other Application Date: 04/04/2019 Issue Date: 04/04/2019 Sq Ft: 0 Zone: R-12 R-12 Residential Mixed Additional Info: Number of Showers: 1 Power Co.: DUKE	District: Sanford Project: Expiration: 10/29/2019 Valuation: \$0.00 Plumber to Install Water & Sewer: No Subdivision: MONROE	Main Address: Parcel: 9652-24-2152-00 Last Inspection: 05/02/2019 Assigned To: Acres: 0.263151	1708 Elm St Sanford, NC 27330 Final Date: Assigned To:

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

Description: (1) SHOWER INSTALL

**PLMR-001332-2019**  
 Status: Issued  
 Application Date: 04/04/2019  
 Zone: R-12 R-12 Residential Mixed  
 Additional Info:  
 Number of Bathtubs: 1  
 Acres: 11.348  
 Description: 1 FIXTURE  
 PERMIT WAS ADDRESSED INCORRECTLY AS 2518 INDIAN WELLS CT., AND CORRECTED 04/11/2019 AS 2507 SUMMERFIELD ROAD PH

**Main Address:**  
 2518 Summerfield Rd  
 Sanford, NC 27330  
**Parcel:** 9651-48-5351-00  
**Last Inspection:** 04/11/2019  
**Assigned To:**

**District:** Sanford  
**Project:**  
**Expiration:** 10/09/2019  
**Valuation:** \$0.00

**Type:** Plumbing (Residential)  
**Workclass:** Alteration  
**Issue Date:** 04/04/2019  
**Sq Ft:** 0

**Number of Full Baths:** 0  
**Power Co.:** DUKE

**Reactivated:** No  
**Plumber to Install Water & Sewer:** No  
**Subdivision:** KENFIELD

**PLMR-001356-2019**  
 Status: Issued  
 Application Date: 04/08/2019  
 Zone: R-14 R-14 Residential Single-Family  
 Additional Info:  
 Number of Full Baths: 2  
 Power Co.: DUKE  
 Description: PLUMBING OF NEW SFD

**Main Address:**  
 210 Southwick Ct  
 Sanford, NC 27330  
**Parcel:** 9660-18-4920-00  
**Last Inspection:** 05/02/2019  
**Assigned To:**

**District:** Sanford  
**Project:**  
**Expiration:** 10/29/2019  
**Valuation:** \$170,000.00

**Type:** Plumbing (Residential)  
**Workclass:** New  
**Issue Date:** 04/08/2019  
**Sq Ft:** 2,675

**Number of Full Baths:** 2  
**Power Co.:** DUKE

**Reactivated:** No  
**Plumber to Install Water & Sewer:** No  
**Subdivision:** PARK AT SOUTH PARK  
**Acres:** 0.41

**PLMR-001397-2019**  
 Status: Issued  
 Application Date: 04/12/2019  
 Zone: RR RR  
 Additional Info:  
 Number of Showers: 1  
 Acres: 4.36179  
 Description: INSTALLATION OF SHOWER

**Main Address:**  
 568 Oakleaf Rd  
 Sanford, NC 27332  
**Parcel:** 9529-91-0204-00  
**Last Inspection:** 04/24/2019  
**Assigned To:**

**District:** Lee County (Unincorporated)  
**Project:**  
**Expiration:** 10/21/2019  
**Valuation:** \$0.00

**Type:** Plumbing (Residential)  
**Workclass:** Alteration  
**Issue Date:** 04/12/2019  
**Sq Ft:** 0

**Number of Showers:** 1  
**Power Co.:** CEMC

**Reactivated:** No  
**Plumber to Install Water & Sewer:** No  
**Subdivision:**  
**Watershed:** LITTLE RIVER / LEE COUNTY

**PLMR-001437-2019**  
 Status: Complete  
 Application Date: 04/16/2019  
 Zone:  
 Additional Info:  
 Reactivated: No  
 Description: WATER & SEWER LINE INSTALL

**Main Address:**  
 539 W Weatherspoon St  
 Sanford, NC 27330  
**Parcel:** 9643-30-2527-00  
**Last Inspection:** 04/18/2019  
**Assigned To:**

**District:** Sanford  
**Project:**  
**Expiration:** 10/15/2019  
**Valuation:** \$0.00

**Type:** Plumbing (Residential)  
**Workclass:** Other  
**Issue Date:** 04/16/2019  
**Sq Ft:** 0

**Number of Half Baths:** 1  
**Power Co.:** CEMC

**Reactivated:** No  
**Plumber to Install Water & Sewer:** No

**PLMR-001441-2019**  
 Status: Issued  
 Application Date: 04/17/2019  
 Zone: RR RR  
 Additional Info:  
 Number of Full Baths: 2  
 Acres: 0.855442

**Main Address:**  
 7903 Bobwhite Ln  
 Sanford, NC 27332  
**Parcel:** 9529-99-3591-00  
**Last Inspection:** 04/26/2019  
**Assigned To:**

**District:** Lee County (Unincorporated)  
**Project:**  
**Expiration:** 10/23/2019  
**Valuation:** \$355,000.00

**Type:** Plumbing (Residential)  
**Workclass:** New  
**Issue Date:** 04/17/2019  
**Sq Ft:** 3,152

**Number of Full Baths:** 2  
**Power Co.:** CEMC

**Reactivated:** No  
**Plumber to Install Water & Sewer:** Yes  
**Subdivision:** QUAIL RIDGE

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

Description: PLUMBING OF NEW SFD

**PLMR-001442-2019**  
 Status: Issued  
 Application Date: 04/17/2019  
 Zone: R-14 R-14 Residential Single-Family  
 Additional Info:  
 Number of Full Baths: 2  
 Flood Zone: AE  
 Type: Plumbing (Residential)  
 Workclass: New  
 Issue Date: 04/17/2019  
 Sq Ft: 2,740  
 District: Sanford  
 Project:  
 Expiration: 10/14/2019  
 Valuation: \$150,000.00  
 Main Address:  
 Parcel: 9633-01-8080-00  
 Last Inspection:  
 Assigned To:  
 2518 Creek Trl  
 Sanford, NC 27330  
 FEMA Map Number: 3710963300J  
 Power Co.: CEMC

Description: PLUMBING OF NEW SFD

**PLMR-001447-2019**  
 Status: Issued  
 Application Date: 04/17/2019  
 Zone: RA RA Residential Agricultural  
 Additional Info:  
 Number of Full Baths: 2  
 Power Co.: DUKE  
 Type: Plumbing (Residential)  
 Workclass: New  
 Issue Date: 04/17/2019  
 Sq Ft: 2,830  
 District: Lee County (Unincorporated)  
 Project:  
 Expiration: 11/02/2019  
 Valuation: \$185,000.00  
 Main Address:  
 Parcel: 9661-84-8279-00  
 Last Inspection: 05/06/2019  
 Assigned To:  
 828 Cox Maddox Rd  
 Sanford, NC 27330  
 Reactivated: No  
 Watershed: DEEP RIVER / LEE COUNTY  
 Plumber to Install Water & Sewer: Yes  
 Acres: 1.23

Description: PLUMBING OF NEW SFD

**PLMR-001448-2019**  
 Status: Issued  
 Application Date: 04/17/2019  
 Zone: R-20 R-20  
 Additional Info:  
 Number of Full Baths: 3  
 Acres: 0.702439  
 Type: Plumbing (Residential)  
 Workclass: New  
 Issue Date: 04/17/2019  
 Sq Ft: 3,646  
 District: Sanford  
 Project:  
 Expiration: 10/20/2019  
 Valuation: \$300,000.00  
 Main Address:  
 Parcel: 9633-57-9431-00  
 Last Inspection: 04/23/2019  
 Assigned To:  
 2419 Lakeland Dr  
 Sanford, NC 27330  
 Reactivated: No  
 Plumber to Install Water & Sewer: Yes  
 Subdivision:  
 Acres: 1.23

Description: PLUMBING OF NEW SFD

**PLMR-001468-2019**  
 Status: Complete  
 Application Date: 04/22/2019  
 Zone: R-20 R-20  
 Additional Info:  
 Number of Water Lines: 1  
 Power Co.: DUKE  
 Type: Plumbing (Residential)  
 Workclass: Alteration  
 Issue Date: 04/22/2019  
 Sq Ft: 0  
 District: Sanford  
 Project:  
 Expiration: 10/30/2019  
 Valuation: \$0.00  
 Main Address:  
 Parcel: 9632-76-5228-00  
 Last Inspection: 05/03/2019  
 Assigned To:  
 210 Arlington Cir  
 Sanford, NC 27330  
 Reactivated: No  
 Plumber to Install Water & Sewer: No  
 Subdivision: LONGVIEW ACRES  
 Acres: 0.91

Description: WATER LINE

**PLMR-001473-2019**  
 Status: Issued  
 Application Date: 04/22/2019  
 Zone: RA RA Residential Agricultural  
 Additional Info:  
 Reactivated: No  
 Type: Plumbing (Residential)  
 Workclass: Other  
 Issue Date: 04/22/2019  
 Sq Ft: 0  
 District: Lee County (Unincorporated)  
 Project:  
 Expiration: 10/19/2019  
 Valuation: \$0.00  
 Main Address:  
 Parcel: 9547-82-9204-00  
 Last Inspection:  
 Assigned To:  
 136 Peele Ln  
 Sanford, NC 27332  
 FEMA Map Number: 3710963300J  
 Power Co.: CEMC



PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

Description: WATER LINE INSTALL

**PLMR-001487-2019**  
 Status: Issued  
 Application Date: 04/23/2019  
 Zone: RA RA Residential Agricultural  
 Additional Info:  
 Number of Sewer Lines: 1  
 Acres: 18.28  
 Description: PLUMBING OF MODULAR HOME  
 PLAN CASE# PRES-8-18-10337  
 Type: Plumbing (Residential)  
 Workclass: Modular  
 Issue Date: 04/23/2019  
 Sq Ft: 1,859  
 Number of Water Lines: 1  
 Power Co.: DUKE  
 District: Lee County (Unincorporated)  
 Project:  
 Expiration: 10/29/2019  
 Valuation: \$145,000.00  
 Main Address:  
 Parcel: 2003 Broadway Rd  
 Sanford, NC 27330  
 Finaled Date:  
 Assigned To:  
 Reactivated: No  
 Plumber to Install Water & Sewer: Yes  
 Subdivision:

**PLMR-001508-2019**  
 Status: Issued  
 Application Date: 04/24/2019  
 Zone: R-20 R-20  
 Additional Info:  
 Number of Showers: 1  
 Plumber to Install Water & Sewer: No  
 Description: 4 FIXTURES PLUMBING OF PROPOSED ACCESSORY BUILDING (21' X 23') TO BE PLACED ON LOT (POOL HOUSE) BEHIND EXISTING SFD (EXISTING IN-GROUND SWIMMING POOL).  
 Type: Plumbing (Residential)  
 Workclass: Other  
 Issue Date: 04/24/2019  
 Sq Ft: 479  
 Number of Lavatories: 1  
 Subdivision: CHANCELLOR'S RIDGE  
 Acres: 0.848325  
 District: Sanford  
 Project:  
 Expiration: 10/22/2019  
 Valuation: \$45,000.00  
 Main Address:  
 Parcel: 104 Westchase Run  
 Sanford, NC 27330  
 Finaled Date:  
 Assigned To:  
 Reactivated: No  
 Number of Kitchen Sinks: 1  
 Power Co.: DUKE

**PLMR-001516-2019**  
 Status: Issued  
 Application Date: 04/24/2019  
 Zone: RA RA Residential Agricultural  
 Additional Info:  
 Manufactured Home Single-Wide: 1  
 Power Co.: CEMC  
 Description: 16'X76' SINGLE-WIDE MOBILE HOME SET UP  
 Type: Plumbing (Residential)  
 Workclass: Manufactured Home  
 Issue Date: 04/24/2019  
 Sq Ft: 0  
 Reactivated: No  
 District: Lee County (Unincorporated)  
 Project:  
 Expiration: 10/21/2019  
 Valuation: \$0.00  
 Main Address:  
 Parcel: 3692 S Plank Rd  
 Sanford, NC 27330  
 Finaled Date:  
 Assigned To:  
 Plumber to Install Water & Sewer: No  
 Subdivision:  
 Acres: 10.1649

**PLMR-001519-2019**  
 Status: Issued  
 Application Date: 04/24/2019  
 Zone: RA RA Residential Agricultural  
 Additional Info:  
 Manufactured Home Double-Wide: 1  
 Acres: 0.97  
 Description: 32'X76' 2019 DOUBLEWIDE  
 Type: Plumbing (Residential)  
 Workclass: Manufactured Home  
 Issue Date: 04/24/2019  
 Sq Ft: 0  
 Reactivated: No  
 Power Co.: CEMC  
 District: Lee County (Unincorporated)  
 Project:  
 Expiration: 10/26/2019  
 Valuation: \$0.00  
 Main Address:  
 Parcel: 2843 Lower River Rd  
 Sanford, NC 27330  
 Finaled Date:  
 Assigned To:  
 Plumber to Install Water & Sewer: No  
 Subdivision: COUNTRY ESTATES OF LOWER RIVER RD  
 Watershed: CAPE FEAR / LEE COUNTY

**PLMR-001520-2019**  
 Status: Issued  
 Application Date: 04/24/2019  
 Zone: RA RA Residential Agricultural  
 Additional Info:  
 Manufactured Home Single-Wide: 1  
 Reactivated: No  
 Type: Plumbing (Residential)  
 Workclass: Manufactured Home  
 Issue Date: 04/24/2019  
 Sq Ft: 0  
 District: Lee County (Unincorporated)  
 Project:  
 Expiration: 10/29/2019  
 Valuation: \$0.00  
 Main Address:  
 Parcel: 1804 Broadway Rd  
 Sanford, NC 27332  
 Finaled Date:  
 Assigned To:  
 Plumber to Install Water & Sewer: No  
 Subdivision:  
 Acres: 1.99

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

Power Co.: DUKE

Description: PLUMBING OF SINGLE WIDE 16X76

**PLMR-001551-2019**  
 Status: Issued  
 Application Date: 04/26/2019  
 Zone: R-12 R-12 Residential Mixed  
 Additional Info:  
 Number of Bathtubs: 1  
 Number of Washing Machines: 1  
 Acres: 0.309426  
 Description: 6 FIXTURES INSTALL (1 KITCHEN SINK, 1 WASHING MACHINE, 1 BATH TUB, 1 LAVATORIE, 1 WATER CLOSET AND 1 ELEC WATER HEATER)

Type: Plumbing (Residential)  
 Workclass: Other  
 Issue Date: 04/26/2019  
 Sq Ft: 0  
 Number of Lavatories: 1  
 Reactivated: No  
 Power Co.: DUKE

District: Sanford  
 Project:  
 Expiration: 10/23/2019  
 Valuation: \$0.00  
 Number of Water Closets: 1  
 Plumber to Install Water & Sewer: No  
 Number of Water Heaters - Electric: 1  
 Historic District: HAWKINS  
 Main Address:  
 Parcel: 9643-62-6718-00  
 Last Inspection:  
 209 E Weatherspoon St  
 Sanford, NC 27330  
 Finaled Date:  
 Assigned To:  
 Number of Kitchen Sinks: 1  
 Subdivision: WEATHERSPOON ADDITION

**PLMR-001552-2019**  
 Status: Issued  
 Application Date: 04/26/2019  
 Zone: R-12 R-12 Residential Mixed  
 Additional Info:  
 Number of Bathtubs: 1  
 Number of Washing Machines: 1  
 Acres: 0.309426  
 Description: 6 FIXTURES (1 KITCHEN SINK, 1 WASHING MACHINE, 1 BATH TUB, 1 LAV, 1 WATER CLOSET, ELEC WATER HEATER)

Type: Plumbing (Residential)  
 Workclass: Other  
 Issue Date: 04/26/2019  
 Sq Ft: 0  
 Number of Lavatories: 1  
 Reactivated: No  
 Power Co.: DUKE

District: Sanford  
 Project:  
 Expiration: 10/23/2019  
 Valuation: \$0.00  
 Number of Water Closets: 1  
 Plumber to Install Water & Sewer: No  
 Number of Water Heaters - Electric: 1  
 Historic District: HAWKINS  
 Main Address:  
 Parcel: 9643-62-6718-00  
 Last Inspection:  
 211 W Weatherspoon St  
 Sanford, NC 27330  
 Finaled Date:  
 Assigned To:  
 Number of Kitchen Sinks: 1  
 Subdivision: WEATHERSPOON ADDITION

**PLMR-001556-2019**  
 Status: Issued  
 Application Date: 04/26/2019  
 Zone: CZ CZ  
 Additional Info:  
 Number of Full Baths: 2  
 Power Co.: DUKE  
 Description: PLUMBING OF NEW SFD

Type: Plumbing (Residential)  
 Workclass: New  
 Issue Date: 04/26/2019  
 Sq Ft: 2,056  
 Reactivated: No

District: Sanford  
 Project:  
 Expiration: 10/28/2019  
 Valuation: \$112,000.00  
 Plumber to Install Water & Sewer: No  
 Subdivision: PARK AT SOUTH PARK  
 Acres: 0.56  
 Main Address:  
 Parcel: 9660-08-7433-00  
 Last Inspection: 05/01/2019  
 133 Tyvola St  
 Sanford, NC 27330  
 Finaled Date:  
 Assigned To:

**PLMR-001558-2019**  
 Status: Refunded  
 Application Date: 04/26/2019  
 Zone: R-14 R-14 Residential Single-Family  
 Additional Info:  
 Number of Full Baths: 2  
 Power Co.: DUKE  
 Description: PLUMBING OF NEW SFD  
 PERMIT WAS ISSUED WITH THE ADDRESS AS 210 SOUTHWICK CT., ADDRESS WAS INCORRECT FOR LOT #15, I WAS CONTACTED BY JEANNATTE BOWMER ON 04/12/2019 AND INFORMED THE CORRECT ADDRESS IS 214 SOUTHWICK CT. I CHANGED ADDRESS WITH IN INSPECTIONS AND PERMIT, CONTACTED CONTRACTOR AND INFORMED THEM OF SAID CHANGE. PH REFUND REQUESTED ON 05/02/2019, PER CONSTRUCTOR. LETTER WILL BE SCANNED IN. PH 05/02/2019

Type: Plumbing (Residential)  
 Workclass: New  
 Issue Date: 04/26/2019  
 Sq Ft: 2,363  
 Reactivated: No

District: Sanford  
 Project:  
 Expiration: 10/23/2019  
 Valuation: \$180,000.00  
 Plumber to Install Water & Sewer: No  
 Subdivision: PARK AT SOUTH PARK  
 Acres: 0.56  
 Main Address:  
 Parcel: 9660-08-6919-00  
 Last Inspection:  
 214 Southwick Ct  
 Sanford, NC 27330  
 Finaled Date:  
 Assigned To:

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

**PLMR-001559-2019**  
 Status: Refunded  
 Application Date: 04/26/2019  
 Zone: R-14 R-14 Residential Single-Family  
 Additional Info:  
 Number of Full Baths: 2  
 Power Co.: DUKE  
 Description: PLUMBING OF NEW SFD  
 REFUND REQUESTED ON 05/02/2019, PER CONSTRUCTOR. LETTER WILL BE SCANNED IN. PH 05/02/2019

Type: Plumbing (Residential)  
 Workclass: New  
 Issue Date: 04/26/2019  
 Sq Ft: 2,007  
 Reactivated: No

District: Sanford  
 Project:  
 Expiration: 10/23/2019  
 Valuation: \$115,000.00

Main Address:  
 Parcel: 9660-08-8428-00  
 Last Inspection:  
 Assigned To:

129 Tyvola St  
 Sanford, NC 27330  
 Finaled Date:  
 Assigned To:

Plumber to Install Water & Sewer: No  
 Subdivision: PARK AT SOUTH PARK  
 Acres: 0.75

**PLMR-001560-2019**  
 Status: Issued  
 Application Date: 04/26/2019  
 Zone: R-14 R-14 Residential Single-Family  
 Additional Info:  
 Number of Full Baths: 2  
 Power Co.: DUKE  
 Description: PLUMBING OF NEW SFD

Type: Plumbing (Residential)  
 Workclass: New  
 Issue Date: 04/26/2019  
 Sq Ft: 2,012  
 Reactivated: No

District: Sanford  
 Project:  
 Expiration: 10/26/2019  
 Valuation: \$115,000.00

Main Address:  
 Parcel: 9660-18-0523-00  
 Last Inspection: 04/29/2019  
 Assigned To:

121 Tyvola St  
 Sanford, NC 27330  
 Finaled Date:  
 Assigned To:

Plumber to Install Water & Sewer: No  
 Subdivision: PARK AT SOUTH PARK  
 Acres: 0.96

**PLMR-001561-2019**  
 Status: Issued  
 Application Date: 04/26/2019  
 Zone: CZ CZ  
 Additional Info:  
 Number of Full Baths: 2  
 Power Co.: DUKE  
 Description: PLUMBING OF NEW SFD

Type: Plumbing (Residential)  
 Workclass: New  
 Issue Date: 04/26/2019  
 Sq Ft: 2,050  
 Reactivated: No

District: Sanford  
 Project:  
 Expiration: 10/26/2019  
 Valuation: \$122,000.00

Main Address:  
 Parcel: 9660-18-1517-00  
 Last Inspection: 04/29/2019  
 Assigned To:

117 Tyvola St  
 Sanford, NC 27330  
 Finaled Date:  
 Assigned To:

Plumber to Install Water & Sewer: No  
 Subdivision: PARK AT SOUTH PARK  
 Acres: 0.92

**PLMR-001562-2019**  
 Status: Issued  
 Application Date: 04/26/2019  
 Zone: R-14 R-14 Residential Single-Family  
 Additional Info:  
 Number of Full Baths: 2  
 Power Co.: DUKE  
 Description: PLUMBING OF NEW SFD

Type: Plumbing (Residential)  
 Workclass: New  
 Issue Date: 04/26/2019  
 Sq Ft: 2,184  
 Reactivated: No

District: Sanford  
 Project:  
 Expiration: 10/26/2019  
 Valuation: \$127,000.00

Main Address:  
 Parcel: 9660-18-2604-00  
 Last Inspection: 04/29/2019  
 Assigned To:

113 Tyvola St  
 Sanford, NC 27330  
 Finaled Date:  
 Assigned To:

Plumber to Install Water & Sewer: No  
 Subdivision: PARK AT SOUTH PARK  
 Acres: 0.89

**PLMR-001590-2019**  
 Status: Issued  
 Application Date: 04/30/2019  
 Zone: RA/MH RA/MH  
 Additional Info:  
 Number of Showers: 1  
 Plumber to Install Water & Sewer: No  
 Description: PLUMBING OF NEW SFD

Type: Plumbing (Residential)  
 Workclass: Alteration  
 Issue Date: 04/30/2019  
 Sq Ft: 0  
 Number of Lavatories: 1  
 Subdivision: B M KELLY

District: Lee County (Unincorporated)  
 Project:  
 Expiration: 10/28/2019  
 Valuation: \$25,000.00  
 Number of Water Closets: 1  
 Number of Kitchen Sinks: 1  
 Reactivated: No

Main Address:  
 Parcel: 9528-24-3667-00  
 Last Inspection: 05/01/2019  
 Assigned To:

342 Hollywood Rd  
 Cameron, NC 28326  
 Finaled Date:  
 Assigned To:

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

Watershed: LITTLE RIVER / LEE COUNTY  
Acres: 5.02677  
Power Co.: CEMC

Description: 4 FIXTURES (1 KITCHEN SINK, 1 SHOWER, 1 LAV, 1 WATER CLOSET)

PLMR-001594-2019

Status: Issued  
Application Date: 04/30/2019  
Zone: RA RA Residential Agricultural  
Additional Info:

Type: Plumbing (Residential)

Workclass: New  
Issue Date: 04/30/2019  
Sq Ft: 3,650

District: Lee County (Unincorporated)

Project:  
Expiration: 10/30/2019  
Valuation: \$185,000.00

6815 Bradley Rd  
Sanford, NC 27330

Final Date:  
Assigned To:

Number of Full Baths: 4  
Power Co.: DUKE  
Description: NEW SFD  
TRANSFERRED FROM OLD DESKTOP VERSION; PLEASE REFERENCE IN OLD DESKTOP SYSTEM BUILDING PERMIT#:31719

Reactivated: No  
Plumber to Install Water & Sewer: Yes  
Subdivision:

Acres: 1.05

PERMITS ISSUED FOR PLUMBING (RESIDENTIAL): 33

POOL

POOL-001428-2019

Status: Issued  
Application Date: 04/15/2019  
Zone: RA RA Residential Agricultural  
Additional Info:

Type: Pool

Workclass: Residential  
Issue Date: 04/15/2019  
Sq Ft: 0

District: Lee County (Unincorporated)

Project:  
Expiration: 10/12/2019  
Valuation: \$0.00

1717 Thomas - Kelly Rd  
Sanford, NC 27330

Final Date:  
Assigned To:

Number of Pools: 1  
Pool Diameter: 0  
Description: POOL PERMIT

Number of Gallons: 0  
Acres: 1.46  
Pool Length: 0  
Power Co.: CEMC  
Pool Width: 0  
Subdivision:

Pool Height: 0

PERMITS ISSUED FOR POOL: 1

SIGN

SIGN-001124-2019

Status: Issued  
Application Date: 03/18/2019  
Zone: C-2 C-2 General Commercial  
Additional Info:

Type: Sign

Workclass: New  
Issue Date: 04/29/2019  
Sq Ft: 0

District: Sanford

Project:  
Expiration: 10/26/2019  
Valuation: \$0.00

3110 S Homer Blvd  
Sanford, NC 27330

Final Date:  
Assigned To:

Awning: No  
Directory: No  
Multiple Business: No  
Wall: Yes  
Description: (1) LIGHTED WALL SIGN (MATTRESS WAREHOUSE)

Banner (Temporary): No  
Free Standing Ground: No  
Parapet: No  
Number of Signs: 1  
Billboard: No  
Identification: No  
Permanent: Yes  
Subdivision:  
Canopy: No  
Lighted: Yes  
Pylon: No  
Acres: 2.62

Construction: No  
Monument: No  
Temporary: No  
Power Co.: CEMC

SIGN-001363-2019

Status: Issued  
Application Date: 04/09/2019  
Zone: C-2 C-2 General Commercial  
Additional Info:

Type: Sign

Workclass: New  
Issue Date: 04/11/2019  
Sq Ft: 0

District: Sanford

Project:  
Expiration: 10/08/2019  
Valuation: \$0.00

1949 S Homer Blvd  
Sanford, NC 27330

Final Date:  
Assigned To:

PERMITS ISSUED BY TYPE (04/01/2019 TO 04/30/2019)

<b>Awning:</b> No	<b>Banner (Temporary):</b> No	<b>Billboard:</b> No	<b>Canopy:</b> No	<b>Construction:</b> No
<b>Directory:</b> No	<b>Free Standing Ground:</b> No	<b>Identification:</b> No	<b>Lighted:</b> No	<b>Monument:</b> No
<b>Multiple Business:</b> No	<b>Parapet:</b> No	<b>Permanent:</b> No	<b>Pylon:</b> No	<b>Temporary:</b> No
<b>Wall:</b> Yes	<b>Number of Signs:</b> 1	<b>Subdivision:</b>	<b>Acres:</b> 6.39	<b>Power Co.:</b> DUKE
<b>Description:</b> 1 LIGHTED WALL SIGN				
<b>SIGN-001471-2019</b>				
<b>Status:</b> Issued	<b>Type:</b> Sign	<b>District:</b> Sanford	<b>Main Address:</b>	2629 S Horner Blvd
<b>Application Date:</b> 04/22/2019	<b>Workclass:</b> New	<b>Project:</b>	<b>Parcel:</b> 9652-71-7469-00	Sanford, NC 27332
<b>Zone:</b> C-2 C-2 General Commercial	<b>Issue Date:</b> 04/24/2019	<b>Expiration:</b> 10/21/2019	<b>Last Inspection:</b>	<b>Final Date:</b>
<b>Additional Info:</b>	<b>Sq Ft:</b> 0	<b>Valuation:</b> \$0.00	<b>Assigned To:</b>	
<b>Awning:</b> No	<b>Banner (Temporary):</b> No	<b>Billboard:</b> No	<b>Canopy:</b> No	<b>Construction:</b> No
<b>Directory:</b> No	<b>Free Standing Ground:</b> No	<b>Identification:</b> No	<b>Lighted:</b> No	<b>Monument:</b> No
<b>Multiple Business:</b> No	<b>Parapet:</b> No	<b>Permanent:</b> No	<b>Pylon:</b> No	<b>Temporary:</b> No
<b>Wall:</b> Yes	<b>Number of Signs:</b> 1	<b>Surface Area (SQ.FT.):</b> 27.86	<b>Tenant/Bldg Front (LN.FT.):</b> 30	<b>Total Signage on Premises (SQ.FT.):</b> 0
<b>Subdivision:</b>	<b>Acres:</b> 0.971463	<b>Power Co.:</b> DUKE		
<b>Description:</b> (1) WALL SIGN FOR ADVANCED HEARING				
<b>SIGN-001510-2019</b>				
<b>Status:</b> Issued	<b>Type:</b> Sign	<b>District:</b> Sanford	<b>Main Address:</b>	605 Chatham St
<b>Application Date:</b> 04/24/2019	<b>Workclass:</b> New	<b>Project:</b>	<b>Parcel:</b> 9642-88-7268-00	Sanford, NC 27330
<b>Zone:</b> LI LI Light Industrial	<b>Issue Date:</b> 04/25/2019	<b>Expiration:</b> 10/22/2019	<b>Last Inspection:</b>	<b>Final Date:</b>
<b>Additional Info:</b>	<b>Sq Ft:</b> 0	<b>Valuation:</b> \$0.00	<b>Assigned To:</b>	
<b>Awning:</b> No	<b>Banner (Temporary):</b> No	<b>Billboard:</b> No	<b>Canopy:</b> No	<b>Construction:</b> No
<b>Directory:</b> No	<b>Free Standing Ground:</b> No	<b>Identification:</b> No	<b>Lighted:</b> No	<b>Monument:</b> No
<b>Multiple Business:</b> No	<b>Parapet:</b> No	<b>Permanent:</b> No	<b>Pylon:</b> Yes	<b>Temporary:</b> No
<b>Wall:</b> Yes	<b>Number of Signs:</b> 1	<b>Tenant/Bldg Front (LN.FT.):</b> 40	<b>Total Signage on Premises (SQ.FT.):</b> 45	<b>Flood Zone:</b> AEFW, AE
<b>Subdivision:</b>	<b>Acres:</b> 1.21058	<b>Power Co.:</b> DUKE		
<b>Description:</b> PROPOSED FACE REPLACEMENT OF EXISTING PYLON SIGN; PROPOSED INSTALLATION OF WALL SIGN FOR BUSINESS IDENTIFICATION				
<b>PERMITS ISSUED FOR SIGN:</b>				<b>4</b>
<b>GRAND TOTAL OF PERMITS:</b>				<b>228</b>

\* Indicates active hold(s) on this permit

# Sanford/Lee County Zoning & Design Review Dept.

115 Chatham Street, Sanford, NC 27330 Phone 919-718-4656

## SANFORD / LEE COUNTY / BROADWAY TECHNICAL REVIEW COMMITTEE (TRC) MEMO

---

**TO: SANFORD / LEE COUNTY / BROADWAY (TRC) MEMBERS**

Sanford/Lee Co. Community Development Dept.: Marshall Downey, Director  
Sanford/Lee Co. Community Development Dept.: David Montgomery, Long Range-Transportation Planner  
Sanford/Lee Co. Zoning & Design Review Dept.: Amy J. McNeill, Zoning Administrator  
Sanford/Lee Co. Zoning & Design Review Dept.: Alexandria Rye, Planner II  
Sanford/Lee County Building Inspections Dept.: Chris Riggins, Inspections Administrator  
Sanford Public Works Dept. / Engineering Division: Michael Lamping, Civil Engineer 1  
Sanford Fire Dept.: Wayne Barber, Chief & Ken Cotton, Deputy Chief / Fire Marshal  
Sanford Police Dept.: Jamie Thomas, Major of Field Operations  
Lee County Office of Emergency Services: Shane Seagroves, Director & Bill Rogers, Fire Marshal  
Lee County Strategic Services Dept.: Don Kvaschitz, Administrator  
Lee County Schools: Reid Cagle, Transportation Director & Dr. Jim Atkinson, Asst. Supt. for Aux Serv.  
NCDOT: Dago Pozos, Assistant District Engineer, District 2  
**CC:** TRC "CC" Members, Project Managers/Designers

**FROM: SANFORD/LEE COUNTY ZONING & DESIGN REVIEW DEPT.****DATE: 5.2.2019**

---

**RE:** TRC meeting on **Thursday May 30, 2019 at 9:00 am** in the Buggy Conference Room of the historic Buggy Company Building at 115 Chatham Street to review the following project(s):**TRC-5-20-19****9:00 am -Outreach Mission Inc. – Concept Review**

LOCATION: Formerly 507 S Third St. and 304 Oakwood Ave. Sanford, NC

LEE CO. PIN NO.: 9642-98-3690-00 and 9642-98-3679-00 (proposed to combine)

ZONING: Currently R-10 Residential Mixed (proposed to rezone possibly to CZ Conditional Zoning)

ACRES: .72 +/- (combined)

DESCRIPTION: The women and children shelter is currently located at 507 S. Third Street. Applicant is proposing to combine the lots, (304 Oakwood 9642-98-3697 and 507 S. Third 9642-98-3690) and build a new homeless shelter that houses Men, Women, Children and Families.

UTILITIES: Proposed to be served by public water and public sewer.

STREET(s): Access proposed of S Third Street (SR 1515 NCDOT maintained)

JURISDICTION: City of Sanford, inside the corporate City limits.

APPLICANT: Laura Spivey | 919.777.1118 | [laura.spivey@sanfordnc.net](mailto:laura.spivey@sanfordnc.net)PLANNER: Alexandria Rye, 919-718-4656, ext. 5399 or [alexandria.rye@sanfordnc.net](mailto:alexandria.rye@sanfordnc.net)**TRC-5-21-19****9:30 AM – Life Springs Church – Commercial Plan Review**

LOCATION: 3215 Keller Andrews Road Sanford, NC

LEE CO. PIN NO.: 9632-92-5021-00

ZONING: R-12 Residential Mixed

ACERS: 8.45 +/-

DESCRIPTION: Expansion to existing church of 12,500 SF building with 300+ additional parking spaces and associated site improvements.

UTILITIES &amp; ACCESS: Proposed to be served by public water &amp; private septic (The site has an onsite private pump station that ties into public sewer on Keller Andrews Road)

STREET(s): Proposed new access of Keller Andrews, public streets (NCDOT maintained).

JURISDICTION: City of Sanford, inside the corporate City limits (rear of parcel in ETJ)

IF YOU ARE UNABLE TO ATTEND THE MEETING, PLEASE FORWARD REVIEW COMMENTS &/OR QUESTIONS TO THE PROJECT PLANNER. Thank you.

APPLICANT: Michael Blakley | 919.499.8759 | draftinganddesign@ymail.com  
PROJECT MANAGER: Shane Wilson | 919.770.4329 | shane@lifesprings.online  
PLANNER: Alexandria Rye | 919.718.4656 ext. 5399 | alexandria.rye@sanfordnc.net

**TRC-5-22-19**

**10:00 am – Good News Baptist Church– Commercial Plan Review**

LOCATION: TBD Wicker Street Sanford, NC

LEE CO. PIN NO.: 9632-56-1344-00

ZONING: R-20 Residential Single-Family

ACRES: 10.3 +/-

DESCRIPTION: Proposed new development of 6,800 SF church with associated parking and site improvements.

UTILITIES: Proposed to be served by public water and public sewer.

STREET(s): Proposed access off of Wicker Street (NCDOT maintained).

JURISDICTION: City of Sanford, inside the corporate City limits.

APPLICANT: Robert Brantly | 919.781.7798 | e2s@bellsouth.net

PROJECT MANAGER: Patrick Shillington | 919.781.7798 | e2s@bellsouth.net

PLANNER: Alexandria Rye | 919.718.4656 ext. 5399 | alexandria.rye@sanfordnc.net

**TRC-5-23-19**

**10:30 am –South Park Apartments Phase II– Multi-Family Plan Review**

LOCATION: TBD Commerce Drive Sanford, NC

LEE CO. PIN NO.: 9660-38-1040-00 and a portion 9660-27-6006-00

ZONING: CZ Conditional Zoning

ACRES: 15.62 +/-

DESCRIPTION: Proposed development of 120 unit apartment buildings with amenities and site improvements.

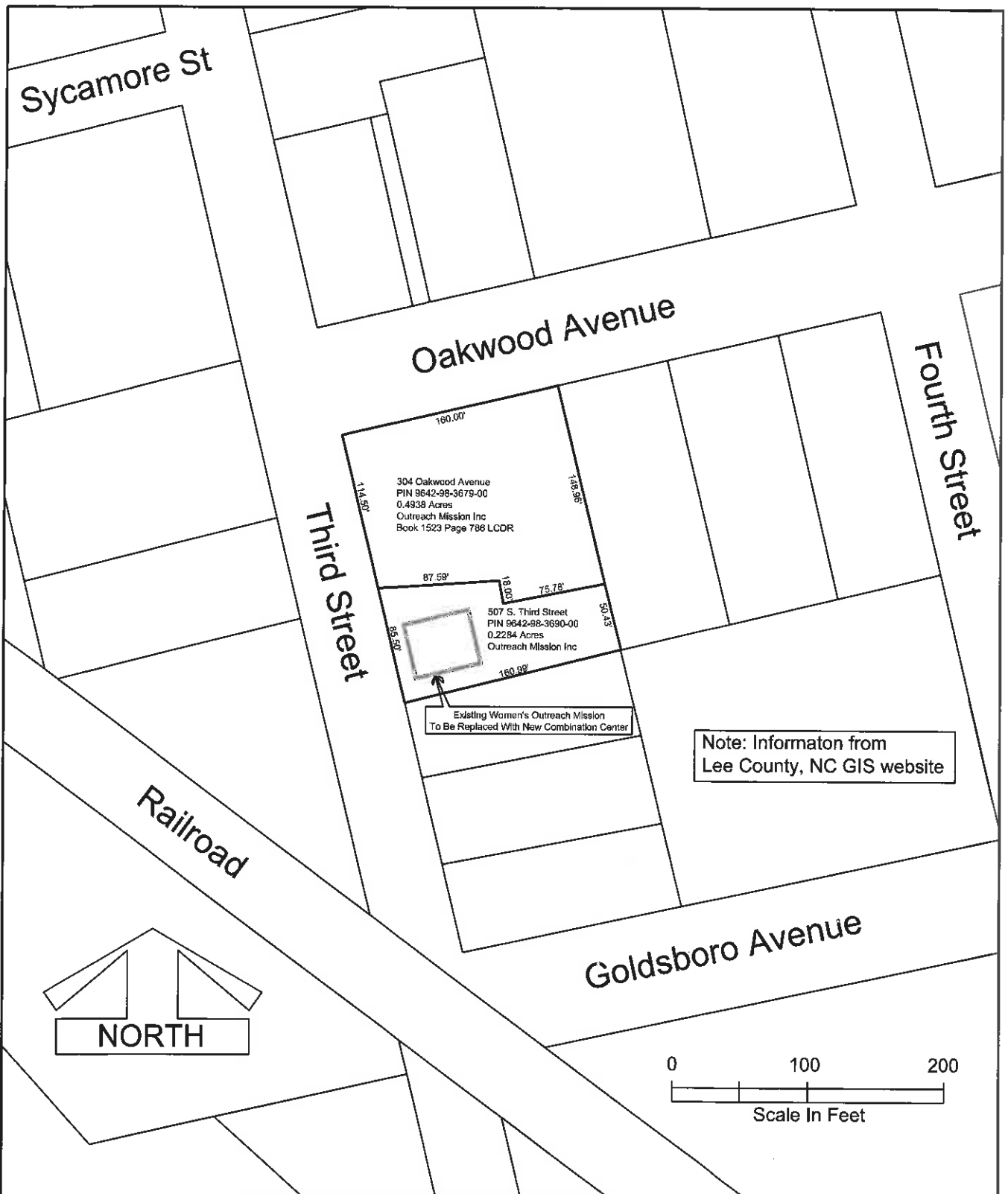
STREET(s): Proposed access off of Commerce Drive, existing City maintained.

JURISDICTION: City of Sanford, inside the corporate City limits.

APPLICANT: Joe Faulkner | 919.367.8790 | joe@cegrouppinc.com

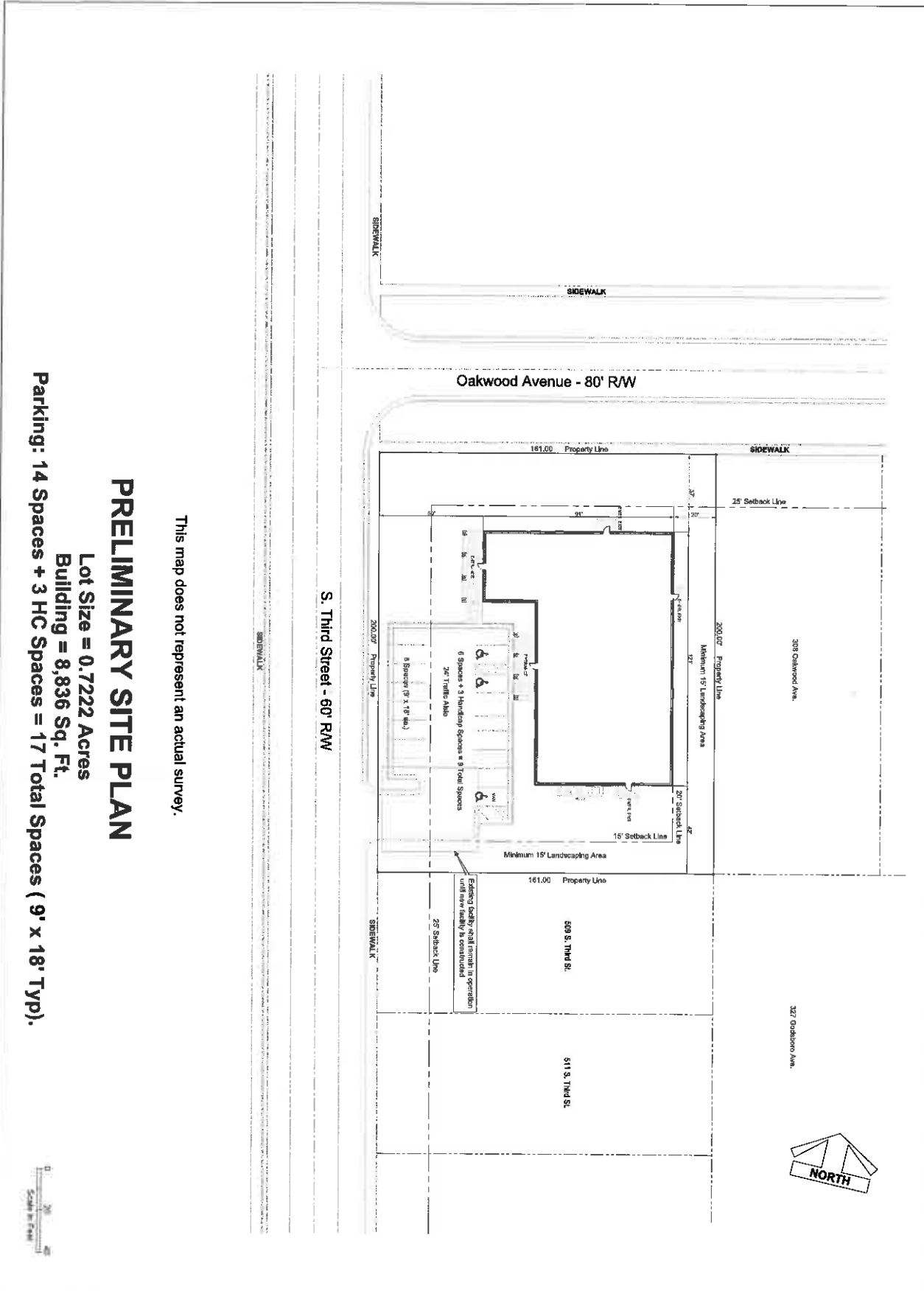
PROJECT MANAGER: Corey Mabus | 919.776.4641 | corey@carolinacommercialinc.com

PLANNER: Alexandria Rye | 919.718.4656 ext. 5399 | alexandria.rye@sanfordnc.net



**Outreach Mission, Inc.**  
Properties To Be Combined For The Location Of A  
Proposed Combination Women, Men and Family Shelter





**PRELIMINARY SITE PLAN**

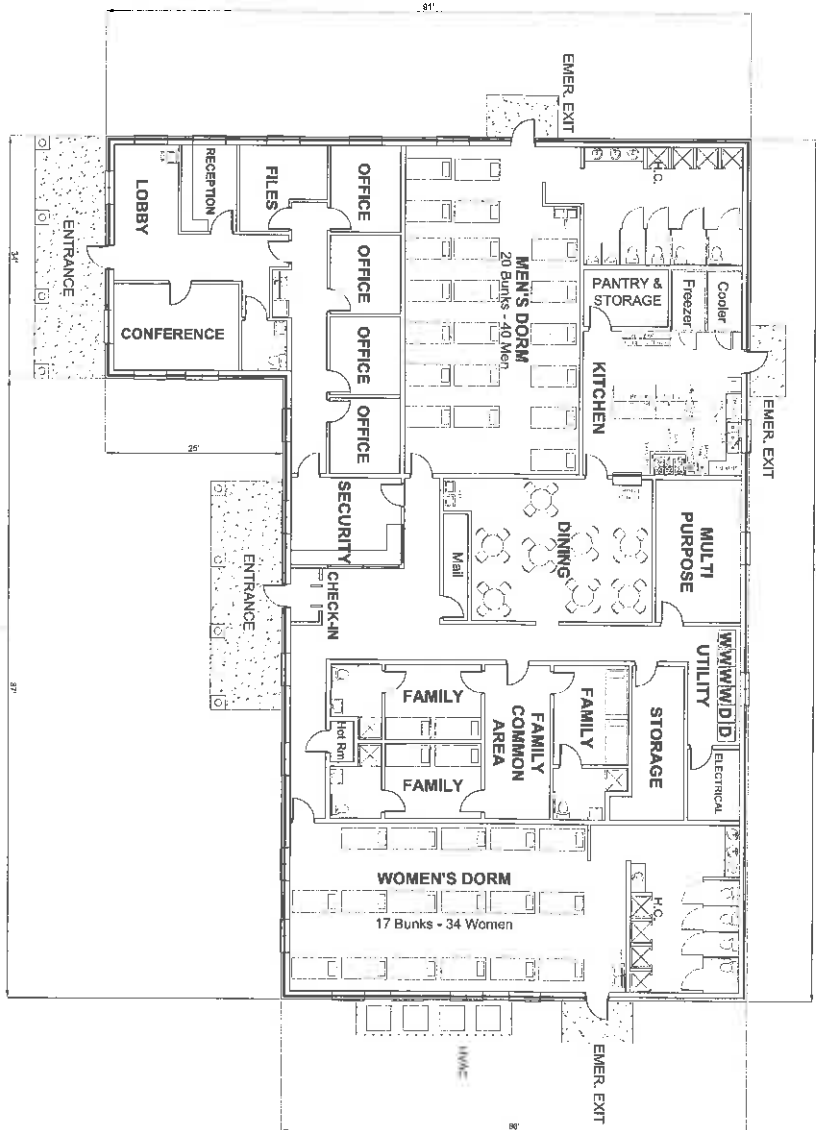
Lot Size = 0.7222 Acres  
 Building = 8,836 Sq. Ft.  
 Parking: 14 Spaces + 3 HC Spaces = 17 Total Spaces (9' x 18' Typ).

This map does not represent an actual survey.

**Outreach Mission, Inc.**  
**Women's & Men's Shelter**  
 Sanford, North Carolina

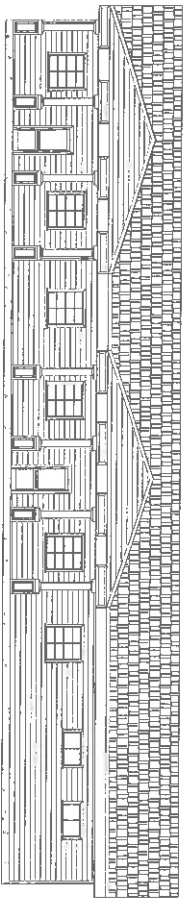
**Fresh Fruit, Inc.**  
 Design & Drafting Services  
 1105 Carolina Road, Sanford, NC  
 Ph. 919-774-7092  
 dmfr@freshfruitdesign.com

Sheet No.  
**S - 1**  
 Date: April 2018



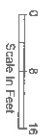
### Floor Plan

8,336 Sq. Ft.  
 1/8" = 1' - 0"



### Elevation

1/8" = 1' - 0"



**Outreach Mission, Inc.**  
 Sanford, North Carolina

**Fresh Fruit, Inc.**  
 Design & Drafting Services  
 115 Colburn Road, Sanford, NC  
 Ph. 919.774.0932  
 dem@freshfruitdesign.com

Sheet No.

**A - 1**

Date:  
 April, 2019

# GOOD NEWS BAPTIST CHURCH WICKER STREET (ADDRESS TBD) SANFORD, NC 27330

Page Index
C-0 Cover Sheet
C-1 Existing Conditions
C-2 Site Plan
C-3 Utility Plan
C-4 Grading & Erosion Control Plan
L-1 Landscaping Plan
D-1 Standard Details
D-2 Erosion Control Details



Scale: 1"=1000'



Scale: 1"=100'

<b>Current Landowner Information</b> Good News Baptist Church, Inc. PO Box 5414 Sanford, NC 919-770-0795 (e-mail: gncbascho@gmail.com)
<b>Civil/Site Engineer Information</b> T. Patrick Shillington, P.E. Engineering & Environmental Sciences Company 3008 Anderson Dr. Suite 102 Raleigh, NC 27609 919-781-7798 (e-mail: at2e@bulletin.net)
<b>Location: Wicker Street</b> Pin Number: 8632-585-144 Deed Book/Page: 1191/675 Zoning: R-40 Jurisdiction: Town of Sanford Existing Use: Vacant Proposed Use: Church Total Lot Area: 10,017 sqm Existing Building Area= 0 sf = 29,701 sf (Gravel parking Area & Driveway) Existing Impervious Surface Area= 5,879 sqm Total Land Disturbance= 5.8 ac. Impervious Surface After Construction= 48,624 sqm Percent Impervious Surface After Construction= 11.1% Proposed Building Height: 20' - 0" Required Vehicle Parking Spaces= 60 Proposed Vehicle Parking Spaces= 59 Required Vehicle Parking Spaces= 59 Total Proposed Vehicle Parking Spaces= 59 Site is not located within 100 yf. floodplain.

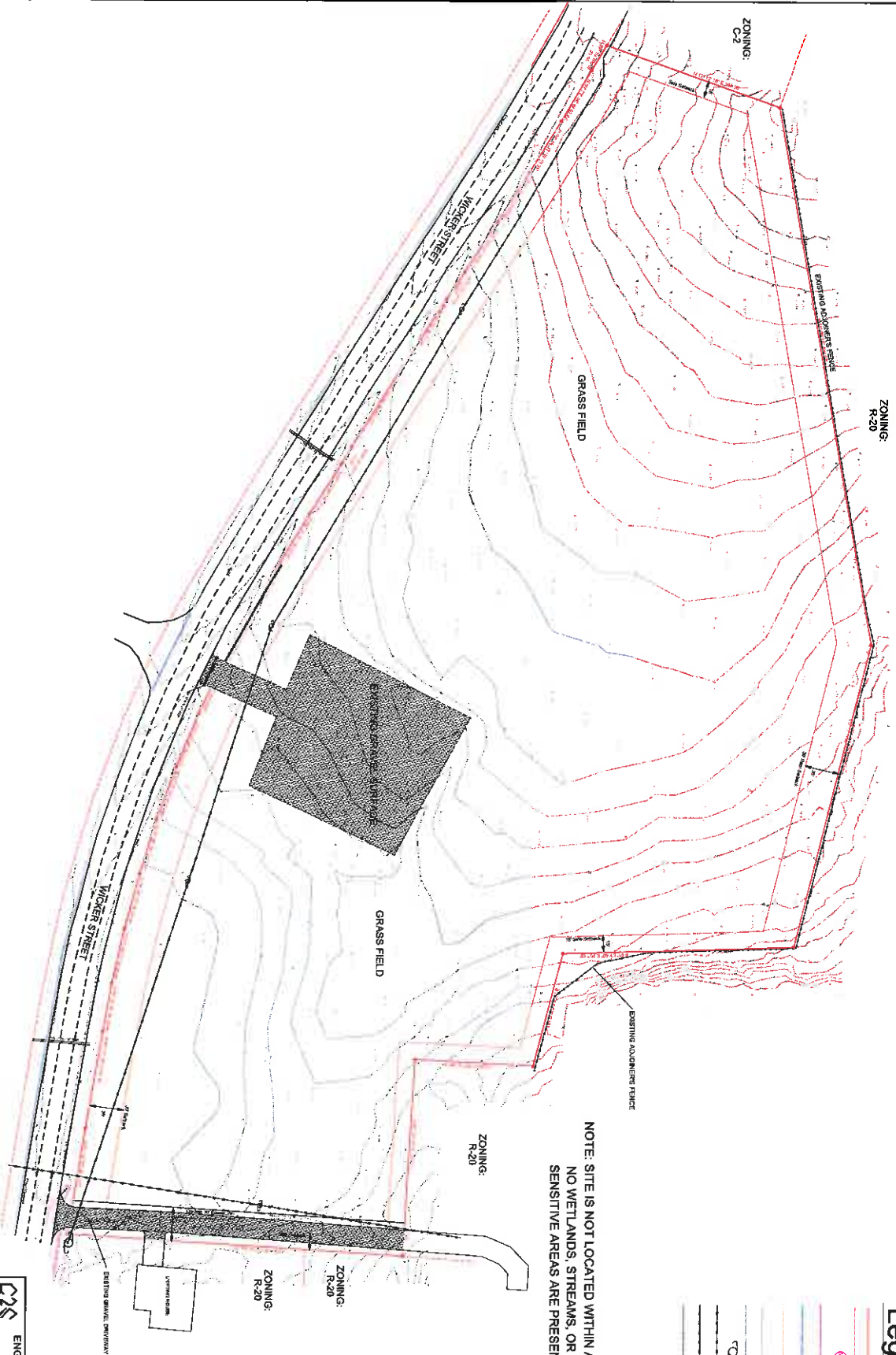
Based on 1 parking space per 4 seats  
 (1 Space) = 60 Spaces  
 Parking Calculation: 200 Seats (4 Seats) = 60 Spaces



### Legend

- Property Line
- Adjacent Property Line
- Sewer Manhole (Existing)
- Sewer Lines (Existing)
- Water Lines (Existing)
- Satback/Yards
- 1 ft. Contours
- 5 ft. Contours
- Power Pole
- Overhead Utilities
- Fiber Optic
- Fence

NOTE: SITE IS NOT LOCATED WITHIN AN ESTABLISHED WATERSHED,  
 NO WETLANDS, STREAMS, OR OTHER ENVIRONMENTALLY  
 SENSITIVE AREAS ARE PRESENT AT THE SITE.

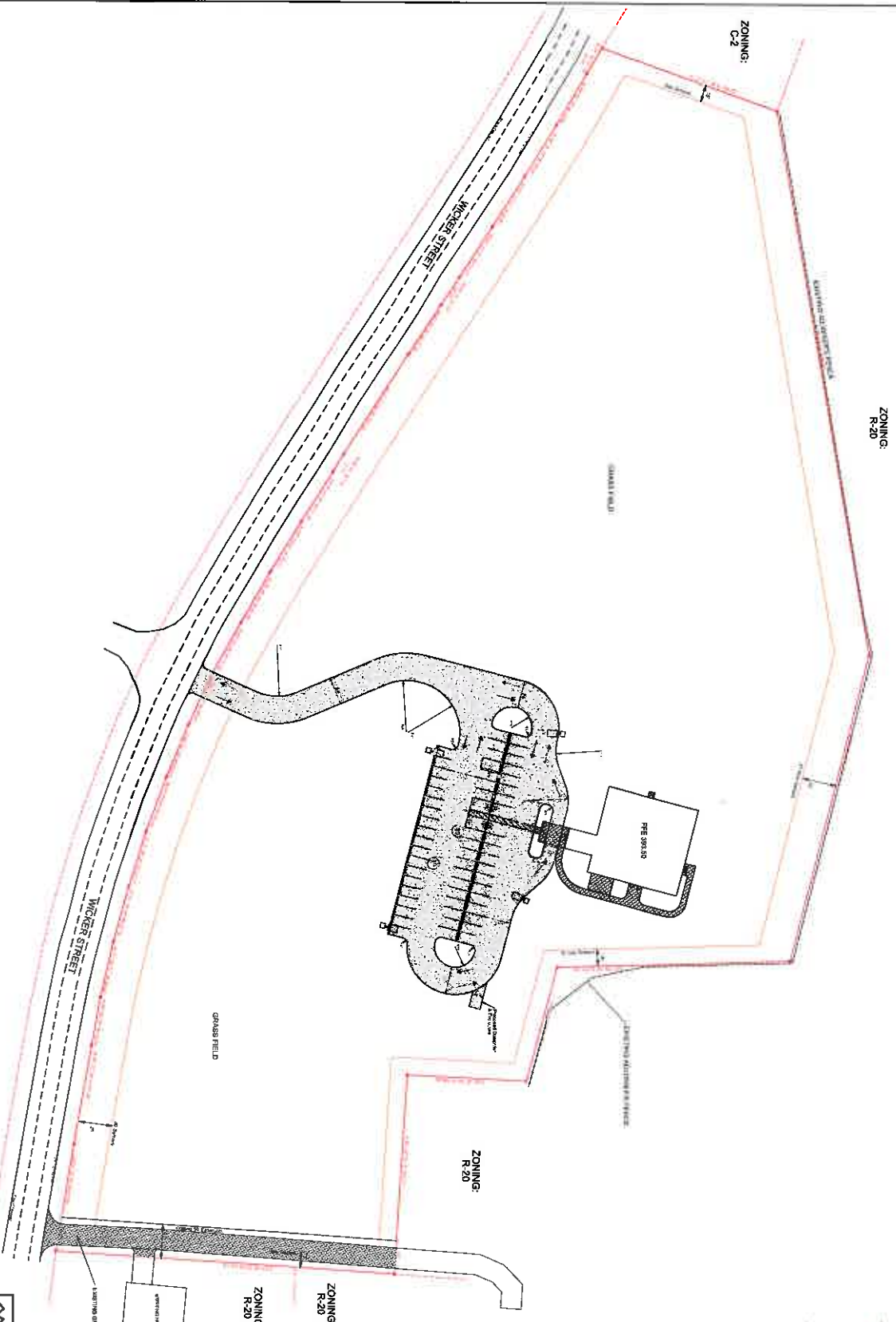


Scale: 1"=40'

	<b>ENGINEERING &amp; ENVIRONMENTAL</b> 3805 Ardmore Drive, Suite 102 Sanford, NC 27331 (919) 757-4730	DATE: 04/20/19 DRAWN: RMB CHECKED:
	EXISTING CONDITIONS GOOD NEWS BAPTIST CHURCH WICKER STREET SANFORD, NC	SCALE: 1"=40' PROJECT NO:

### Legend

- Property Line
- Adjacent Property Line
- Sidewalk
- Seabacks/Yards
- Fence
- Proposed Area Light
- Turning Radius



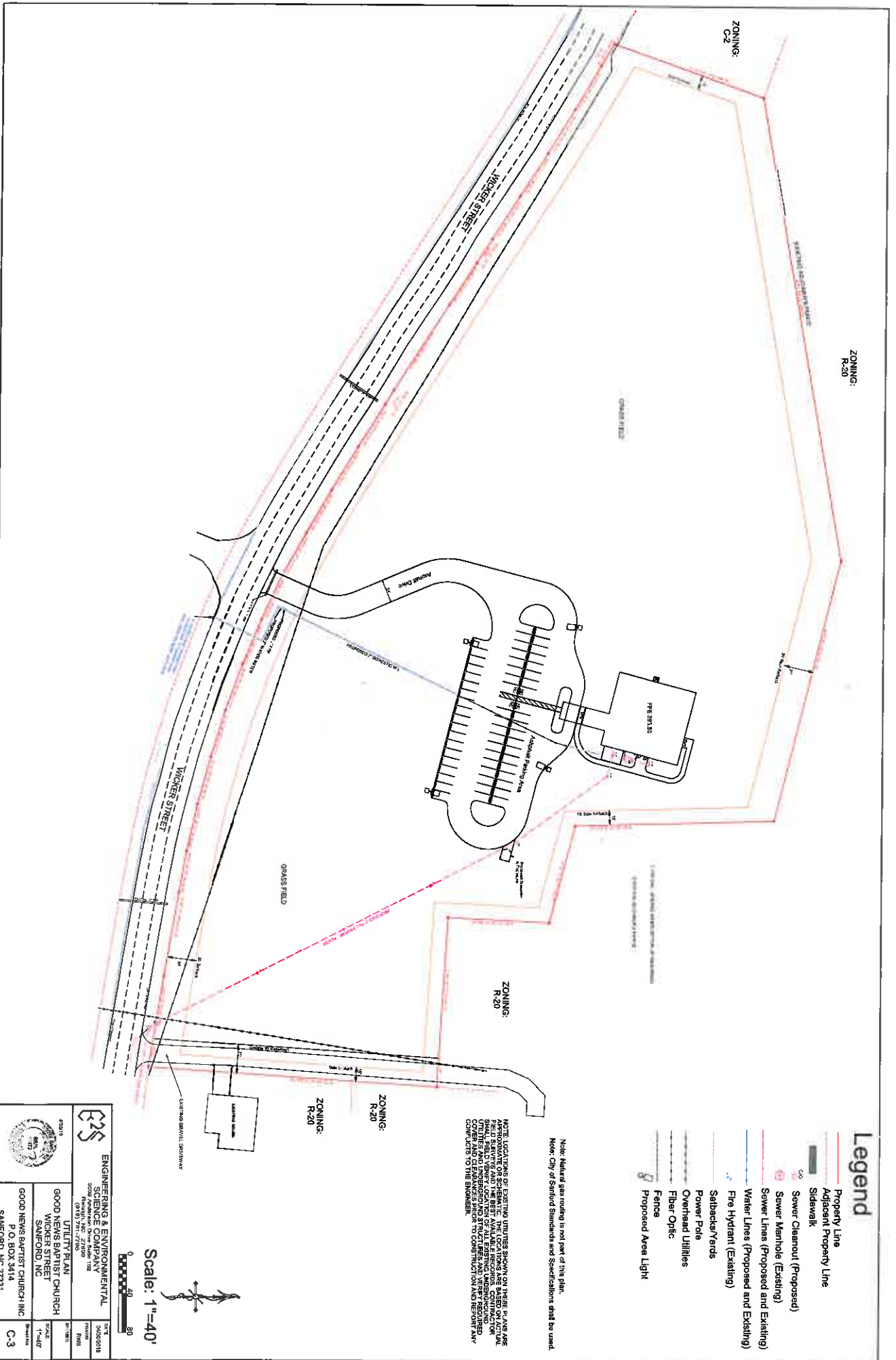
Project Name: Good News Baptist Church  
 Location: Wicker Street  
 Property Owner: Good News Baptist Church, Inc.  
 P.O. Box 3414  
 Sanford, NC 27331  
 Date: 05/15/2019  
 Zoning: R-20  
 Owner: Good News Baptist Church, Inc.  
 Proposed Use: Church  
 Proposed Use: Church  
 Existing Building Area: 0.12  
 Building Footprint: 0.12  
 Building Height: 21.0  
 Proposed Building Area: 0.12  
 Proposed Building Height: 21.0  
 Proposed Building Footprint: 0.12  
 Proposed Building Height: 21.0  
 Proposed Building Footprint: 0.12  
 Proposed Building Height: 21.0

Scale: 1" = 40'

ENGINEERING & ENVIRONMENTAL  
 SCIENCE COMPANY  
 300A JENSEN DRIVE SUITE 102  
 SANFORD, NC 27331  
 (704) 781-9756

GOOD NEWS BAPTIST CHURCH  
 WICKER STREET  
 SANFORD, NC  
 P.O. BOX 3414  
 SANFORD, NC 27331

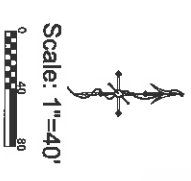
C-2



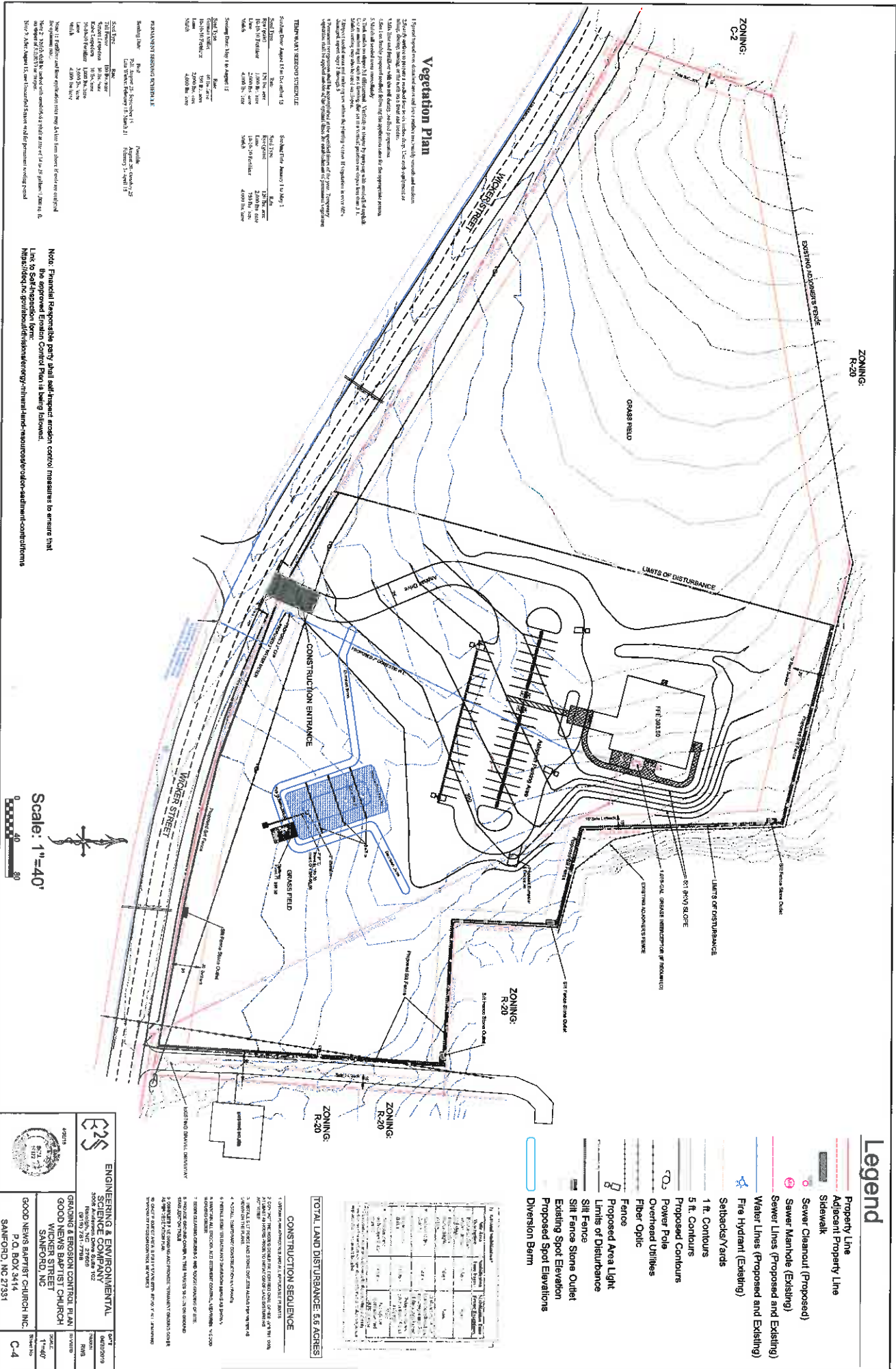
- ### Legend
- Property Line
  - Adjacent Property Line
  - Sidewalk
  - Sewer Cleanout (Proposed)
  - Sewer Manhole (Existing)
  - Sewer Lines (Proposed and Existing)
  - Water Lines (Proposed and Existing)
  - Fire Hydrant (Existing)
  - Setbacks/Yards
  - Power Pole
  - Overhead Utilities
  - Fiber Optic
  - Fence
  - Proposed Area Light

Note: Natural gas routing is not part of this plan.  
 Note: City of Sanford Standards and Specifications shall be used.

NOTE: LOCATIONS OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE OR SHOWN AS THE LOCATIONS ARE BASED ON AERIAL PHOTOGRAPHS AND FIELD SURVEY DATA. THE LOCATIONS ARE BASED ON AERIAL PHOTOGRAPHS AND FIELD SURVEY DATA. THE LOCATIONS ARE BASED ON AERIAL PHOTOGRAPHS AND FIELD SURVEY DATA. THE LOCATIONS ARE BASED ON AERIAL PHOTOGRAPHS AND FIELD SURVEY DATA. THE LOCATIONS ARE BASED ON AERIAL PHOTOGRAPHS AND FIELD SURVEY DATA. THE LOCATIONS ARE BASED ON AERIAL PHOTOGRAPHS AND FIELD SURVEY DATA.



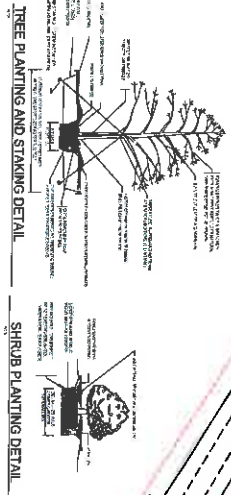
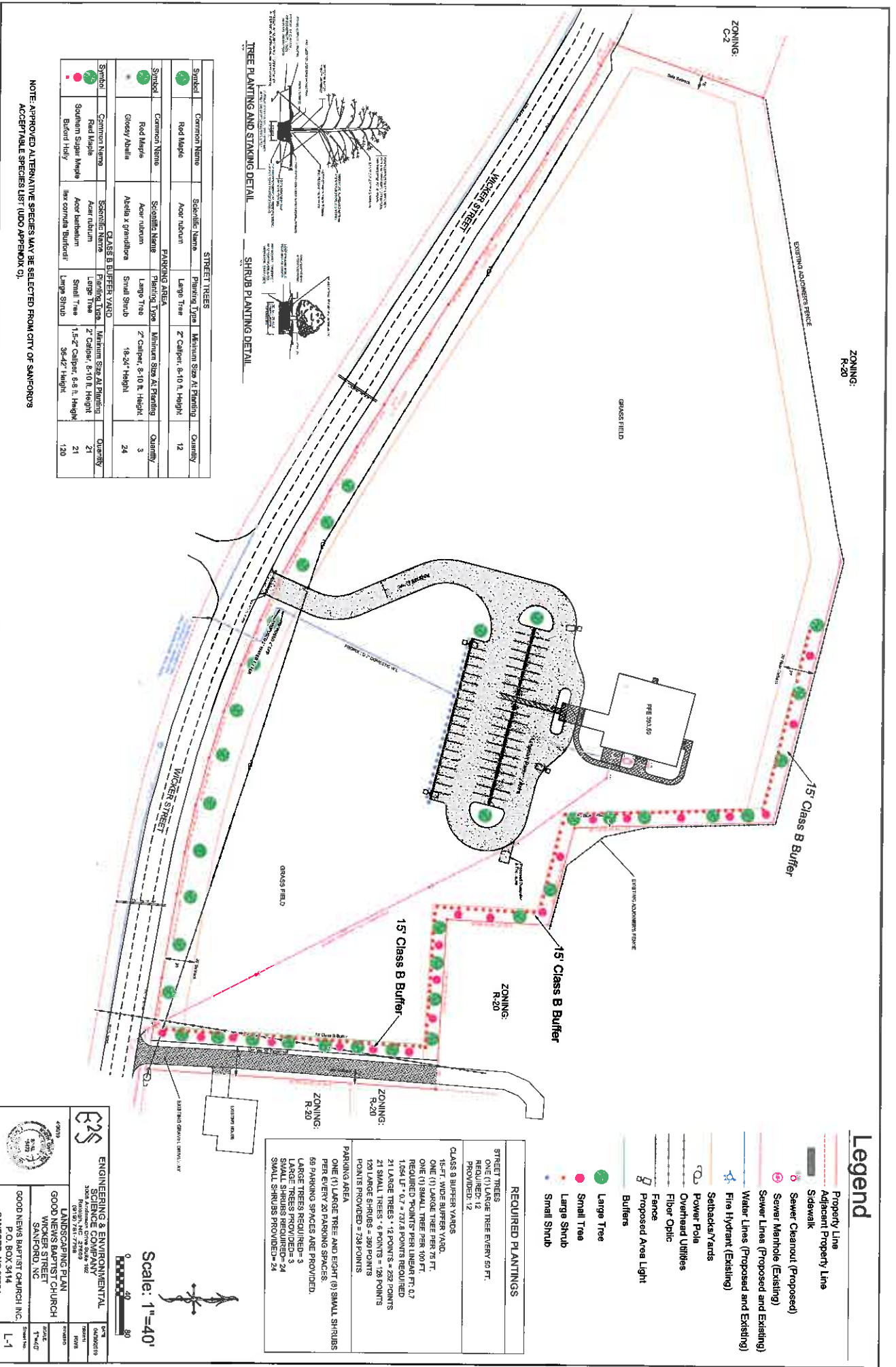
	<b>ENGINEERING &amp; ENVIRONMENTAL SCIENCE COMPANY</b> 3007 Anderson Drive, Suite 102 Sanford, NC 27331 (919) 751-0700	DATE	05/20/19
	UTILITY PLAN GOOD NEWS BAPTIST CHURCH WICKER STREET SANFORD, NC	SCALE	1"=40'
GOOD NEWS BAPTIST CHURCH INC. P.O. BOX 3414 SANFORD, NC 27331	SHEET NO. C-3		



**ENGINEERING & ENVIRONMENTAL SCIENCE COMPANY**  
 2000 W. MAIN STREET, SUITE 200  
 SANFORD, NC 27585  
 PHONE: 704.775.1111  
 FAX: 704.775.1112  
 WWW: WWW.ENGSCI.COM

**CLIENTS:**  
 GEORGIN & ERGON CONTROL PLAN  
 GOOD NEWS BAPTIST CHURCH  
 WACKER STREET  
 SANFORD, NC  
 GOOD NEWS BAPTIST CHURCH, INC.  
 P.O. BOX 417331  
 SANFORD, NC 27531

**SCALE:** 1"=40'  
**DATE:** 5/15/19  
**PROJECT:** C-4



Symbol	Common Name	Scientific Name	Planting Type	Minimum Size At Planting	Quantity
●	Red Maple	Acer rubrum	Large Tree	2" Caliper, 8-10 ft. Height	12
●	Common Name	Scientific Name	Planting Type	Minimum Size At Planting	Quantity
●	Red Maple	Acer rubrum	Large Tree	2" Caliper, 8-10 ft. Height	3
●	Glossy Abelia	Abelia x grandifolia	Small Shrub	18-24" Height	24
CLASS B BUFFER YARD					
Symbol	Common Name	Scientific Name	Planting Type	Minimum Size At Planting	Quantity
●	Red Maple	Acer rubrum	Large Tree	2" Caliper, 8-10 ft. Height	21
●	Southern Sugar Maple	Acer barbatum	Small Tree	1.5-2" Caliper, 8-8 ft. Height	21
●	Blood Holly	Ilex cornuta 'Burfordii'	Large Shrub	36-42" Height	120

NOTE: APPROVED ALTERNATIVE SPECIES MAY BE SELECTED FROM CITY OF SANFORDS ACCEPTABLE SPECIES LIST (UDO APPENDIX C).

### Legend

- Property Line
- Adjacent Property Line
- Sidewalk
- Sewer Cleanup (Proposed)
- Sewer Manhole (Existing)
- Sewer Lines (Proposed and Existing)
- Water Lines (Proposed and Existing)
- Fire Hydrant (Existing)
- Setbacks/Yards
- Power Pole
- Overhead Utilities
- Fiber Optic
- Fence
- Proposed Area Light
- Buffers
- Large Tree
- Small Tree
- Large Shrub
- Small Shrub

### REQUIRED PLANTINGS

- STREET TREES**  
ONE (1) LARGE TREE EVERY 50 FT.  
REQUIRED: 12  
PROVIDED: 12
- CLASS B BUFFER YARDS**  
15-FT. WIDE BUFFER YARD.  
ONE (1) LARGE TREE PER 75 FT.  
ONE (1) SMALL TREE PER 100 FT.  
REQUIRED POINTS PER LINEAR FT. 0.7  
1,054 LF \* 0.7 = 737.8 POINTS REQUIRED  
21 LARGE TREES \* 12 POINTS = 252 POINTS  
21 SMALL TREES \* 6 POINTS = 126 POINTS  
120 LARGE SHRUBS = 360 POINTS  
POINTS PROVIDED = 738 POINTS
- PARKING AREA**  
ONE (1) LARGE TREE AND EIGHT (8) SMALL SHRUBS PER EVERY 20 PARKING SPACES.  
68 PARKING SPACES ARE PROVIDED.  
LARGE TREES REQUIRED= 3  
SMALL SHRUBS REQUIRED= 24

Scale: 1"=40'



ENGINEERING & ENVIRONMENTAL  
3006 Audubon Drive Suite 102  
Sanford, NC 27331  
919.721.7700

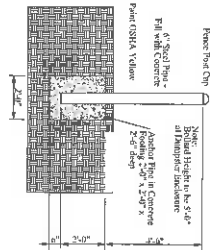
LANDSCAPING PLAN	DATE	REVISION
GOOD NEWS BAPTIST CHURCH	11/16/18	
WICKER STREET	11/16/18	
SANFORD, NC	11/16/18	
GOOD NEWS BAPTIST CHURCH, INC.	11/16/18	
P.O. BOX 3414	11/16/18	
SANFORD, NC 27331	11/16/18	

L-1

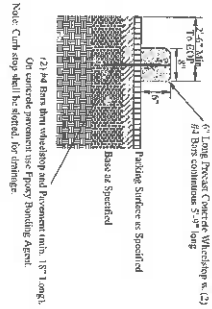




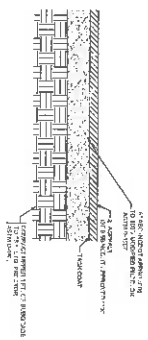
**STEEL PIPE BOLLARD**



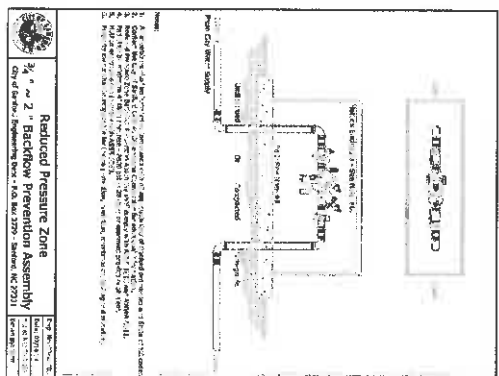
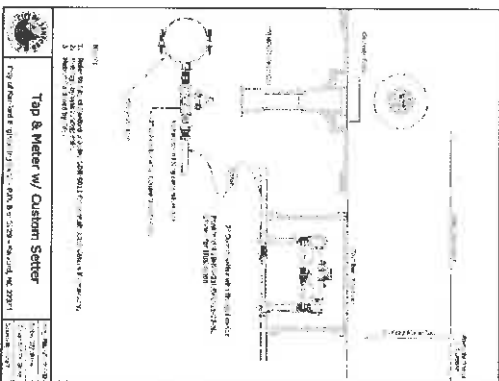
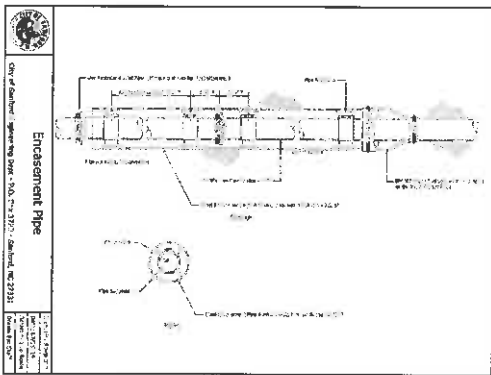
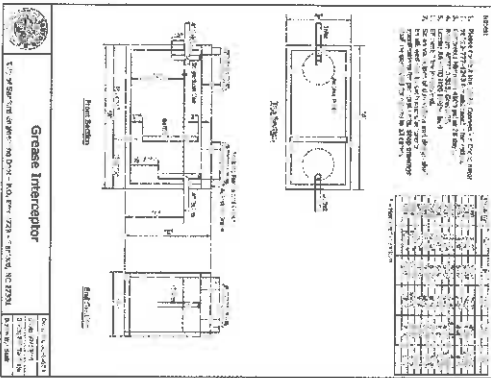
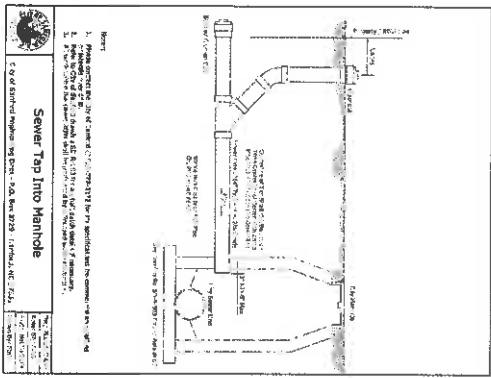
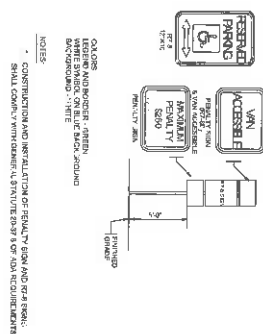
**WHEEL STOP**



**PAVEMENT DETAIL**



**HANDICAP SIGNAGE**



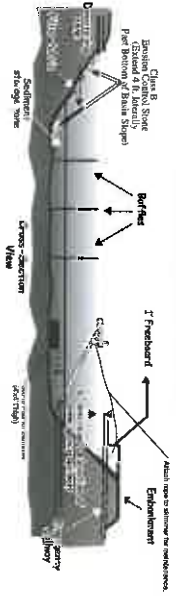
**ENGINEERING & ENVIRONMENTAL SCIENCE COMPANY**  
3001 Anderson Drive Suite 102  
Sanford, NC 27331  
(919) 781-9730

**STANDARD DETAILS**  
GOOD NEWS BAPTIST CHURCH  
WICKER STREET  
SANFORD, NC

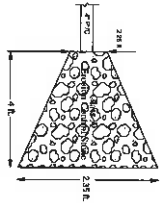
**GOOD NEWS BAPTIST CHURCH INC.**  
P. O. BOX 3414  
SANFORD, NC 27331

DATE: 04/22/18  
DRAWN: RMB  
CHECKED: NIS  
PROJECT: D-1

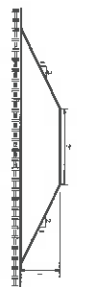
### SKIMMER BASIN DETAIL



### OUTLET PROTECTION DETAILS



### SOIL BERM CROSS-SECTION



Basin	Volume (cu ft)	Volume (cu yd)	Volume (cu ft)	Volume (cu yd)	Volume (cu ft)	Volume (cu yd)	Volume (cu ft)	Volume (cu yd)
1	150	20	150	20	150	20	150	20
2	300	40	300	40	300	40	300	40
3	450	60	450	60	450	60	450	60
4	600	80	600	80	600	80	600	80
5	750	100	750	100	750	100	750	100
6	900	120	900	120	900	120	900	120
7	1050	140	1050	140	1050	140	1050	140
8	1200	160	1200	160	1200	160	1200	160
9	1350	180	1350	180	1350	180	1350	180
10	1500	200	1500	200	1500	200	1500	200

### CROSS-SECTION BAFLE (NTS)



### SECONDARY SPILLWAY



- 1. Provide a concrete curb on the top of the baffle.
- 2. Provide a concrete curb on the top of the baffle.
- 3. Provide a concrete curb on the top of the baffle.
- 4. Provide a concrete curb on the top of the baffle.
- 5. Provide a concrete curb on the top of the baffle.

### SKIMMER DETAIL



### Basin Maintenance

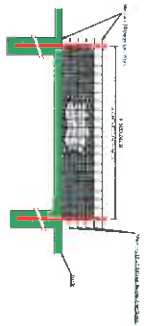
Inspect volume retention basins for debris and other floatables once each day. For the skimmer, make sure the skimmer mechanism is not jammed. Make sure regular cleaning of the baffle does not block down the drainage.

Repair the baffle if they are damaged. Re-install the baffle if they are damaged or broken.

If the skimmer is damaged with rust and there is water at the basin, shut down the skimmer and call for a replacement. Do not attempt to repair the skimmer. If the skimmer is damaged with rust and there is water at the basin, shut down the skimmer and call for a replacement. Do not attempt to repair the skimmer.

Check the filter media. The filter media must be replaced every 6 months. The filter media must be replaced every 6 months. The filter media must be replaced every 6 months.

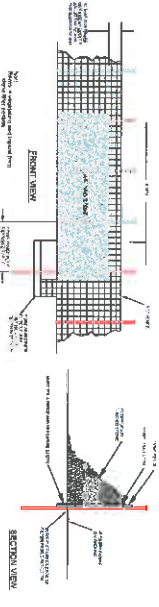
### SILT FENCE DETAILS



### Silt Fence Specifications

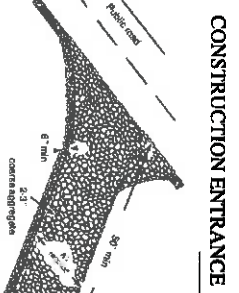
- 1. Provide a concrete curb on the top of the baffle.
- 2. Provide a concrete curb on the top of the baffle.
- 3. Provide a concrete curb on the top of the baffle.
- 4. Provide a concrete curb on the top of the baffle.
- 5. Provide a concrete curb on the top of the baffle.

### SILT FENCE STONE OUTLET



### Silt Fence Maintenance Considerations

- 1. Inspect the silt fence daily for debris and other floatables.
- 2. Repair the silt fence if they are damaged.
- 3. Replace the silt fence if they are damaged.
- 4. Check the silt fence for debris and other floatables.
- 5. Check the silt fence for debris and other floatables.



### CONSTRUCTION ENTRANCE

**E2S ENGINEERING & ENVIRONMENTAL**

409 W. ...  
2005 Piedmont Drive Suite 100  
Sanford, NC 27331  
(704) 781-7700

EROSION CONTROL DETAILS  
GOOD NEWS BAPTIST CHURCH  
WICKER STREET  
SANFORD, NC

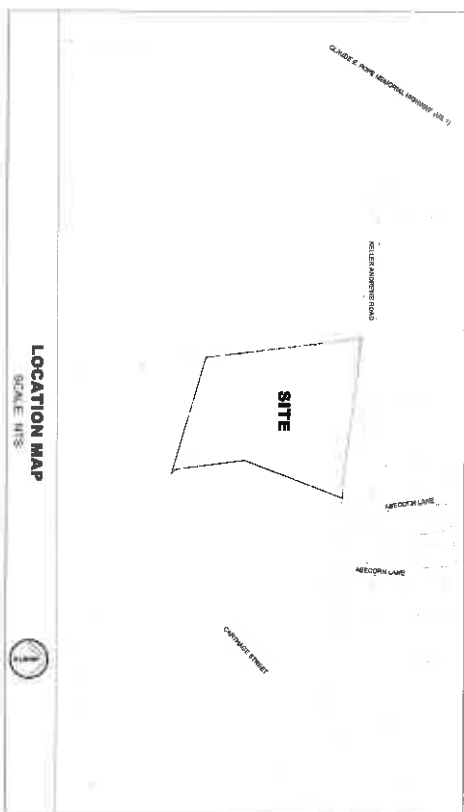
GOOD NEWS BAPTIST CHURCH, INC.  
P.O. BOX 3414  
SANFORD, NC 27331

DATE: 04/08/19  
DRAWN: RHM  
SCALE: NTS  
SHEET NO: D-2



# LIFE SPRINGS CHURCH BUILDING ADDITION

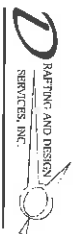
PIN#: 9632-92-5021  
3215 KELLER ANDREWS ROAD  
SANFORD, NORTH CAROLINA



LOCATION MAP  
SCALE NTS

**MAY 2019**

PLANS BY:



6728 CARBORTON ROAD  
Sanford, North Carolina 27330  
919.499.8799 Phone  
EMAIL: [RADES@RADES.COM](mailto:RADES@RADES.COM)

- SHEET INDEX**
- C1 COVER
  - C2 SITE EXISTING CONDITIONS PLAN
  - C3 SITE STAKING PLAN
  - C4 SITE GRADING & EROSION CONTROL PLAN
  - C5 SITE UTILITY PLAN
  - C6 SITE LANDSCAPING PLAN
  - C7 DRAIN AREA MAP
  - C8 CONSTRUCTION DETAILS
  - C8 CONSTRUCTION DETAILS
  - C10 CONSTRUCTION DETAILS
  - C11 STORM/EROSION CONTROL CALCULATIONS

**PROVIDED FOR:**

LIFE SPRINGS CHURCH  
3215 KELLER ANDREWS ROAD  
SANFORD, NC 27330  
CONTACT: SHANE WILL SON  
PHONE: (919) 770-4329  
EMAIL: [SHANE@LIFESPRINGS.ONLINE](mailto:SHANE@LIFESPRINGS.ONLINE)

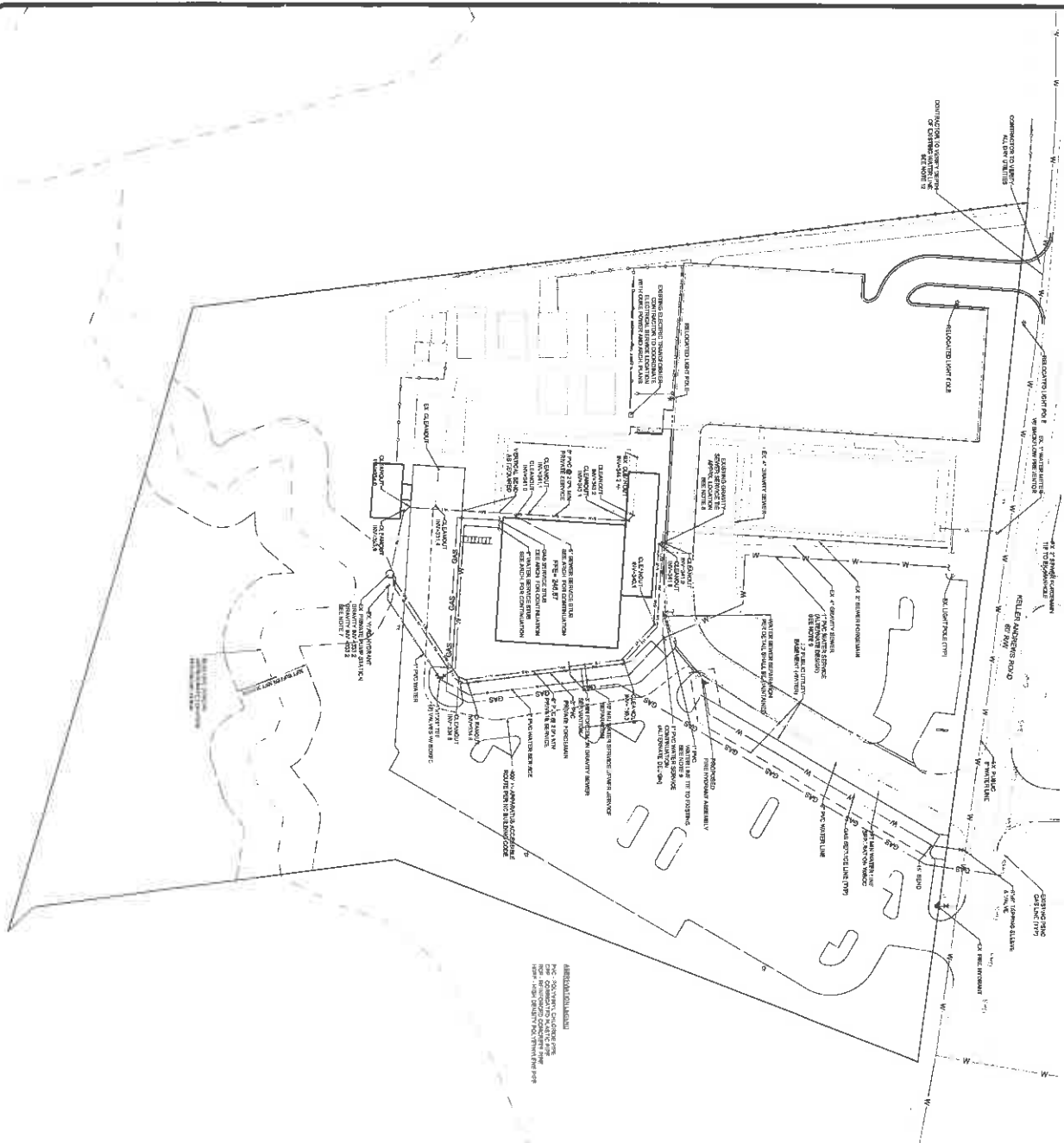
AGENCY REVIEW  
NOT FOR  
CONSTRUCTION

Project no. 2019-5







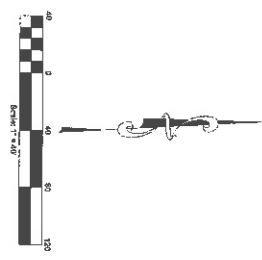


**LOCAL CONTACT INFORMATION**

- ELECTRIC**  
BY  
CONTRACT: KENDALL LOUIEBE  
PHONE: (919) 775-2832
- TELEPHONE**  
WINDSTREAM  
PHONE: (919) 945-5214
- WATER & SEWER**  
CITY OF SANFORD  
SANFORD, NC 27330  
CONTRACT: PAUL WEEBS  
PHONE: (919) 775-8910
- GAS**  
PS&C ENERGY  
SANFORD, NC 27330  
PHONE: (919) 777-2606
- BUILDING CODE**  
CITY OF SANFORD  
SANFORD, NC 27330  
CONTRACT: CHRIS REGGINS  
PHONE: (919) 714-4659
- PLANNING & ZONING**  
115 OAK HAVEN STREET  
SANFORD, NC 27330  
CONTRACT: ALI EKANDORIAN RYE  
PHONE: (919) 714-4659 (EXT. 5289)
- ROADWAY REGULATORY AUTHORITY**  
NCDOT  
SANFORD, NC 27330  
CONTRACT: MICHAEL ROCKETTS  
PHONE: (919) 944-7421

**NOTES**

1. CONTRACTOR TO VERIFY ALL UTILITIES SHOWN ARE CORRECT. ALL UTILITIES NOT SHOWN ARE TO BE LOCATED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
2. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48" BELOW FINISHED GRADE UNLESS OTHERWISE NOTED.
3. ALL UTILITIES SHALL BE PROTECTED BY A MINIMUM OF 18" OF GRANULAR FILL ABOVE THE UTILITY.
4. ALL UTILITIES SHALL BE PROTECTED BY A MINIMUM OF 18" OF GRANULAR FILL ABOVE THE UTILITY.
5. ALL UTILITIES SHALL BE PROTECTED BY A MINIMUM OF 18" OF GRANULAR FILL ABOVE THE UTILITY.
6. ALL UTILITIES SHALL BE PROTECTED BY A MINIMUM OF 18" OF GRANULAR FILL ABOVE THE UTILITY.
7. ALL UTILITIES SHALL BE PROTECTED BY A MINIMUM OF 18" OF GRANULAR FILL ABOVE THE UTILITY.
8. ALL UTILITIES SHALL BE PROTECTED BY A MINIMUM OF 18" OF GRANULAR FILL ABOVE THE UTILITY.
9. ALL UTILITIES SHALL BE PROTECTED BY A MINIMUM OF 18" OF GRANULAR FILL ABOVE THE UTILITY.
10. ALL UTILITIES SHALL BE PROTECTED BY A MINIMUM OF 18" OF GRANULAR FILL ABOVE THE UTILITY.
11. ALL UTILITIES SHALL BE PROTECTED BY A MINIMUM OF 18" OF GRANULAR FILL ABOVE THE UTILITY.
12. ALL UTILITIES SHALL BE PROTECTED BY A MINIMUM OF 18" OF GRANULAR FILL ABOVE THE UTILITY.
13. ALL UTILITIES SHALL BE PROTECTED BY A MINIMUM OF 18" OF GRANULAR FILL ABOVE THE UTILITY.
14. ALL UTILITIES SHALL BE PROTECTED BY A MINIMUM OF 18" OF GRANULAR FILL ABOVE THE UTILITY.



**LIFE SPRINGS CHURCH CAMPUS  
BUILDING ADDITON  
3215 KELLER ANDREWS ROAD  
SANFORD, NORTH CAROLINA**

**SITE UTILITY PLAN**

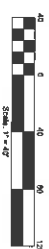
**MARKING AND DESIGN**  
SERVICES, LLC  
6730 CLASHBURN ROAD  
SANFORD, NORTH CAROLINA 27330  
info@markinganddesign.com

**PRELIMINARY  
NOT FOR CONSTRUCTION**

Scale:	1"=40'	Drawn By:	APM
Sheet:	11 of 11	Checked By:	MTB
Project Number:	3215-3	Date:	MAY 2019







**LIFE SPRINGS CHURCH CAMPUS  
 BUILDING ADDITON  
 3215 KELLER ANDREWS ROAD  
 SANFORD, NORTH CAROLINA**

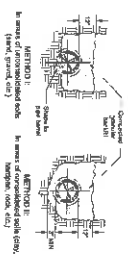
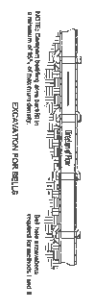
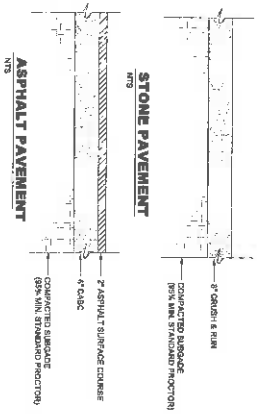
**DRAINAGE AREA MAP**

REVISIONS

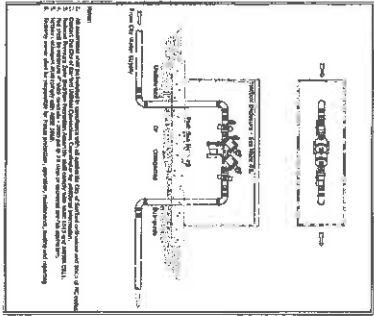
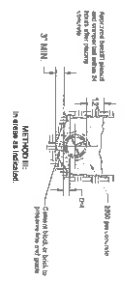
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 NOT FOR CONSTRUCTION**

DATE: 1-14-17	DESIGNED BY: MTL
PROJECT NUMBER: C7 11	REVIEWED BY: MTL
DATE: MAY 2018	

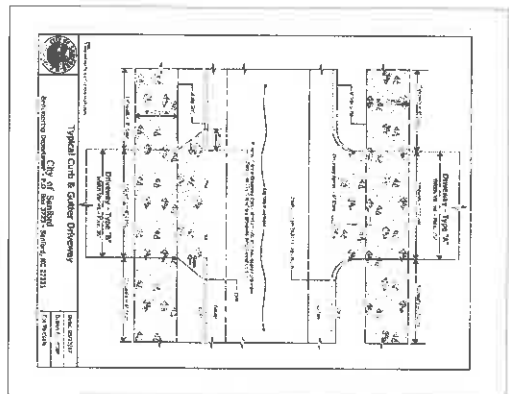
**D** PARTING AND DESIGN  
 ENGINEERS, INC.  
 6728 CANTON ROAD  
 27109  
 919.484.8799  
[www.partinganddesign.com](http://www.partinganddesign.com)



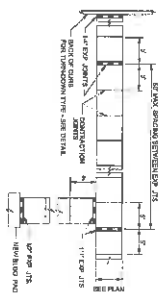
**PIPE LAYING**  
NTS - City of Sanford



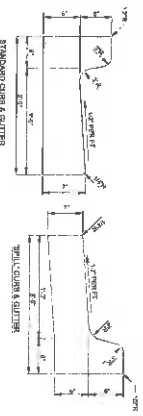
**RPZ BACKFLOW PREVENTION - DOUBLE CHECK VALVE**  
INSTALLATION 3/4" - 2" NTS - City of Sanford



- NOTES:
1. ALL SPOULDS SHALL BE 4" THICK EXCEPT 9x9" INTERVALLS.
  2. CONSTRUCTION JOINTS SHALL BE SPACED AT 9x9" INTERVALS.
  3. CONSTRUCTION JOINTS SHALL BE FINISHED ON ANY SIDE AND FLOORS WITH REINFORCING ON ANY SIDE.
  4. SPOULD CROSS SECTIONS SHOULD BE 24" DIA. TO AND TOWARD PAVED AREAS.
  5. 1/2" RIB - 1/2" MATERIAL INCLUDED WHERE CONC. SPOULDS ADJACENT TO ANY RIB STRUCTURE.
  6. A LAYER OF 1/4" SLURRY RITE IS REQUIRED UNDER ALL RIB AND SPOULD PRODUCTIONS CONC. CURBS.

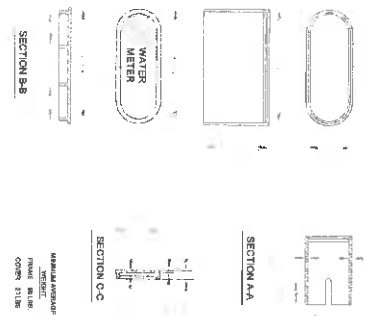


**SIDEWALK**  
NTS

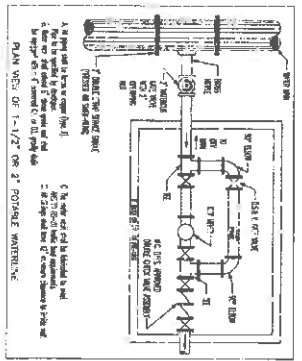


- NOTES:
1. CURBS AND GUTTERS TO BE CONSTRUCTED IN 10 FOOT LENGTHS.
  2. 1/2" RIB SPACING JOINTS SHALL BE FINISHED AT INTERVALS NOT TO EXCEED 60 FEET AT THE ENDS AND MID POINT OF BERTINGS AND AT ANY POINT OF CURB OR GUTTER CHANGES.
  3. FLOOR THICKNESS SHALL BE 4" MINIMUM FOR CONCRETE SPOULDS AND PITCHED GUTTER UNLESS OTHERWISE NOTED ON THE PAVING PLAN.

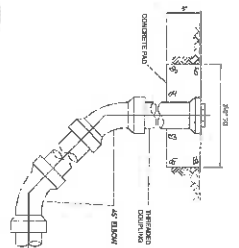
**CURBS AND GUTTER**  
NTS



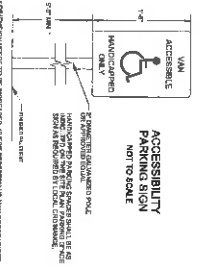
**WATER METER BOX**  
NTS - City of Sanford



**WATER METER**  
NTS - City of Sanford



**CLEANOUT RISER**  
NTS - City of Sanford



**HANDICAP PARKING AND SIGN**  
NTS

- THE FOLLOWING WOOD STANDARD DRAWINGS (NOT CURRENT) ARE TO BE USED FOR THIS PROJECT:
- 56002 CONCRETE CATCH BASIN - 12" DIA. 24" PIPE
  - 56003 FRANK, CHIMNEY, AND HOOD - 20" DIA. 24" DIA. BASIN 56002
  - 56014 CONCRETE SMOKE NILE - 12" DIA. 24" PIPE
  - 56015 DRAIN NILE/TWAVE AND BAYNE - 12" DIA. 24" DIA. NILE 56014
  - 56021 JUNCTION BOX - 12" THRU 8" PIPE
  - 56024 MANHOLE RING AND COVER - PIPE DIA. JUNCTION BOX AND 21" DIA. 24"
  - 56026 DRAINAGE STRUCTURE SIGNS

**NCDOT STANDARD DRAWINGS**

PRELIMINARY  
NOT FOR CONSTRUCTION

Sheet	NTS	Drawn by	NTS
Scale	NTS	Checked by	NTS
Project Number	CB of 11	Reviewed by	NTS
Date	05/14/18	Drawn	NTS
Scale	NTS	Drawn	NTS

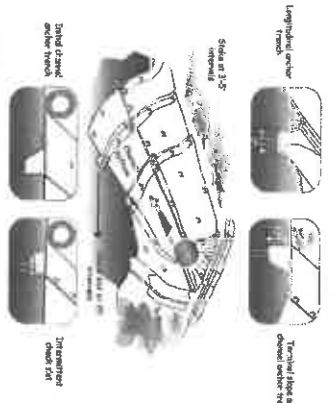
**LIFE SPRINGS CHURCH CAMPUS**  
**BUILDING ADDITON**  
3215 KELLER ANDREWS ROAD  
SANFORD, NORTH CAROLINA

CONSTRUCTION DETAILS

**D** BOYD AND ASSOCIATES  
5700 S. RIVERS, N.C.  
6723 COLUMBIA ROAD  
SANFORD, NORTH CAROLINA 27335  
478.754.4444  
dboyd@boydandassociates.com



Figure 6.116: D. Overall Installation and Skimmer Installation, Washington State Ecology Department



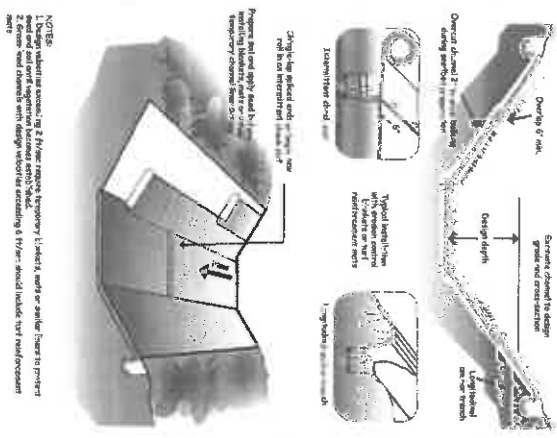
**NOTE:**

1. Skimmer to be purchased per manufacturer specifications.
2. Skimmer to be mounted on a concrete pad.

**NOTE:**

1. Skimmer to be mounted on a concrete pad.
2. Skimmer to be mounted on a concrete pad.

Figure 6.117: Temporary Skimmer Layout, Washington State Department of Ecology



**NOTE:**

1. Skimmer to be mounted on a concrete pad.
2. Skimmer to be mounted on a concrete pad.

Construction Specifications

1. Skimmer to be mounted on a concrete pad.

2. Skimmer to be mounted on a concrete pad.

3. Skimmer to be mounted on a concrete pad.

4. Skimmer to be mounted on a concrete pad.

**SELF INSPECTION AND RAIN GAUGE GUIDELINES**

**NEW STABILIZATION TIME TABLE**

Criteria: 4.4, 5.2.1.10

Soil Type	Stabilization Time	Inspection Frequency
High Quality (Very High) Soils	7 days	None
Medium Quality (Medium) Soils	14 days	None
Low Quality (Low) Soils	28 days	None
All other soils (All other soils)	56 days	None

**STABILIZATION TIME TABLE**

Criteria: 4.4, 5.2.1.10

Soil Type	Stabilization Time	Inspection Frequency
High Quality (Very High) Soils	7 days	None
Medium Quality (Medium) Soils	14 days	None
Low Quality (Low) Soils	28 days	None
All other soils (All other soils)	56 days	None

**PRELIMINARY NOT FOR CONSTRUCTION**

Scale: NTS

Drawn By: NTS

Check: NTS

Date: MAY 2019

**CONSTRUCTION SPECIFICATIONS**

1. Skimmer to be mounted on a concrete pad.

2. Skimmer to be mounted on a concrete pad.

3. Skimmer to be mounted on a concrete pad.

4. Skimmer to be mounted on a concrete pad.

**LIFE SPRINGS CHURCH CAMPUS**

**BUILDING ADDITON**


**3215 KELLER ANDREWS ROAD**

**SANFORD, NORTH CAROLINA**

**CONSTRUCTION DETAILS**

PARTON AND DESON  
ENGINEERS, INC.  
6726 CABOTWAY ROAD  
SANFORD, NORTH CAROLINA 27330  
919.653.0800  
partonanddeson.com

<p>Sheet 1: 20' x 30'</p> <p>Grade Point Elevation Method</p> <p>Q<sub>1</sub> = 1.00 Q<sub>2</sub> = 1.00 Q<sub>3</sub> = 1.00</p> <p>Grade Point Elevation Method</p> <p>Q<sub>1</sub> = 1.00 Q<sub>2</sub> = 1.00 Q<sub>3</sub> = 1.00</p> <p>OK</p>	<p>Sheet 2: 20' x 30'</p> <p>Grade Point Elevation Method</p> <p>Q<sub>1</sub> = 1.00 Q<sub>2</sub> = 1.00 Q<sub>3</sub> = 1.00</p> <p>Grade Point Elevation Method</p> <p>Q<sub>1</sub> = 1.00 Q<sub>2</sub> = 1.00 Q<sub>3</sub> = 1.00</p> <p>OK</p>	<p>Sheet 3: 20' x 30'</p> <p>Grade Point Elevation Method</p> <p>Q<sub>1</sub> = 1.00 Q<sub>2</sub> = 1.00 Q<sub>3</sub> = 1.00</p> <p>Grade Point Elevation Method</p> <p>Q<sub>1</sub> = 1.00 Q<sub>2</sub> = 1.00 Q<sub>3</sub> = 1.00</p> <p>OK</p>	<p>Sheet 4: 20' x 30'</p> <p>Grade Point Elevation Method</p> <p>Q<sub>1</sub> = 1.00 Q<sub>2</sub> = 1.00 Q<sub>3</sub> = 1.00</p> <p>Grade Point Elevation Method</p> <p>Q<sub>1</sub> = 1.00 Q<sub>2</sub> = 1.00 Q<sub>3</sub> = 1.00</p> <p>OK</p>
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SERV, INC.  
4275 CAMPBELL ROAD  
Sanford, North Carolina 27330  
(919) 999-9779  
www.servinc.com

**LIFE SPRINGS CHURCH CAMPUS**  
**BUILDING ADDITON**  
3215 KELLER ANDREWS ROAD  
SANFORD, NORTH CAROLINA

**STORM/EROSION CONTROL CALCULATIONS**

**REVISIONS**


**PRELIMINARY  
NOT FOR CONSTRUCTION**

Scale: NTS	Drawn By: NTS
Sheet: NTS	Designed By: NTS
Project Number: <b>C11 of 11</b>	Reviewed By: NTS
Scale: NTS	Date: MAY 2019